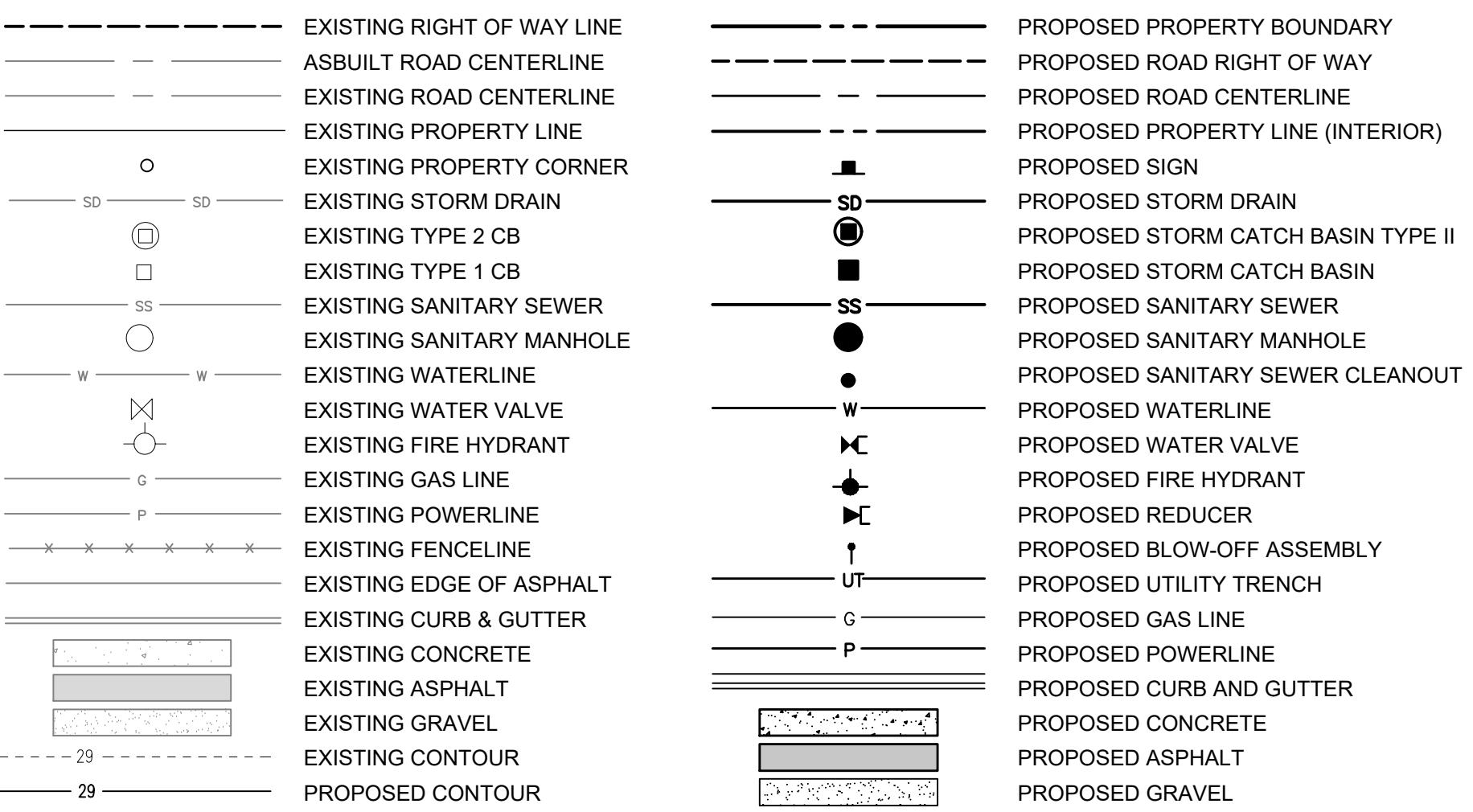


SHEET INDEX

| SHEET NUMBER | SHEET TITLE |
|--------------|---|
| C1.0 | COVER SHEET |
| C1.1 | EXISTING CONDITIONS, DEMOLITION & TESC PLAN |
| C1.2 | TESC PLAN NOTES & DETAILS |
| C2.0 | GRADING AND DIMENSIONAL PLAN |
| C2.1 | UTILITY PLAN |
| C2.2 | CENTER STREET ROADWAY IMPROVEMENTS - PLAN & PROFILE |
| C2.3 | FOURTH STREET ROADWAY IMPROVEMENTS - PLAN & PROFILE |
| C3.0 | SITE & SEWER DETAILS |
| C3.1 | SEWER & WATER DETAILS |
| C3.2 | WATER, WSDOT STANDARD PLANS & CONSTRUCTION DETAILS |
| C3.3 | WSDOT STANDARD PLANS & SEDIMENT TRAP DETAIL |
| C4.0 | STANDARD SPECIFICATIONS & STORMFILTER DETAIL |

Received
10-17-23

LEGEND**LEGAL DESCRIPTION**

THE EAST 3 FEET OF LOT 2 AND ALL OF LOTS 3, 6 AND 7, BLOCK 9, "CALHOUN ADDITION TO THE TOWN OF LA CONNER" AS PER PLAT RECORDED IN VOLUME 1 OF PLATS, PAGE 14, RECORDS OF SKAGIT COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF SKAGIT, STATE OF WASHINGTON.

NOTE: LEGAL DESCRIPTION FROM EXHIBIT "A" OF STATUTORY WARRANTY DEED RECORDED 08/26/2021 UNDER SKAGIT COUNTY AUDITOR'S FILE NUMBER 202108260088.

SITE INFORMATION

SITE PARCEL NUMBER: P74143
SITE ADDRESS: 306 CENTER STREET; LA CONNER, WA 98257
BUILDING UNITS: 5 AIRBNB LODGING UNITS, 14 APARTMENT DWELLING UNITS

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON SURFACE INDICATORS, UTILITY MAPS PROVIDED BY THE CLIENT, SKAGIT COUNTY, AND APS UTILITY SERVICE WAS ALSO USED FOR THEIR LOCATION.

SURVEY/DATUM INFORMATION

BASIS OF BEARING
N 88° 25' 54" W BETWEEN THE FOUND NAILS IN THE INTERSECTIONS OF 3RD AND 4TH ST WITH CENTER ST.

FIELD EQUIPMENT
THIS SURVEY WAS ACCOMPLISHED BY FIELD TRAVERSE WITH A "TRIMBLE SS" AND A TRIMBLE R10-2 GPS RECEIVER, STANDARD ERROR DISTANCE +/- 2CM (+/- 1 PPM), AND MEETS OR EXCEEDS STANDARDS AS SET FORTH IN W.A.C. CH. 332-130.

HORIZONTAL DATUM

WASHINGTON STATE PLANE NORTH ZONE 4601 (NAD 83/2012) USING W.S.R.N.

VERTICAL DATUM

THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 88 BASED ON W.S.R.N. GPS TIE. THE ELEVATION OF THE SOUTHWEST TOP HOLD DOWN BOLT ON THE FIRE HYDRANT AT THE INTERSECTION OF 4TH ST. AND CENTER ST. HAS AN ELEVATION OF 9.47' NAVD AS SHOWN HEREON.

BASE FLOOD ELEVATION = 8.0' NGVD 29 + 3.8' = 11.8' NAVD 88

UNDERGROUND UTILITY LOCATIONS

UNDERGROUND UTILITY LOCATIONS SHOWN HEREON ARE BASED ON SURFACE INDICATORS.

RESEARCH

1) R.O.S. AFN 9407190146
2) R.O.S. AFN 200904210003
PLAT OF CALHOUN ADDITION TO THE TOWN OF LA CONNER VOL. 1, PAGE 14

OWNER:

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BURLINGTON, WA 98233
EM: brandon.kate.atkinson@gmail.com

CONTRACTOR:

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DALE KING
16559 COUNTRY CLUB DRIVE
LYNDEN, WA 98264
PH: 360.354.3500
EM: dale@faberconstruction.com

ENGINEER/SURVEYOR:

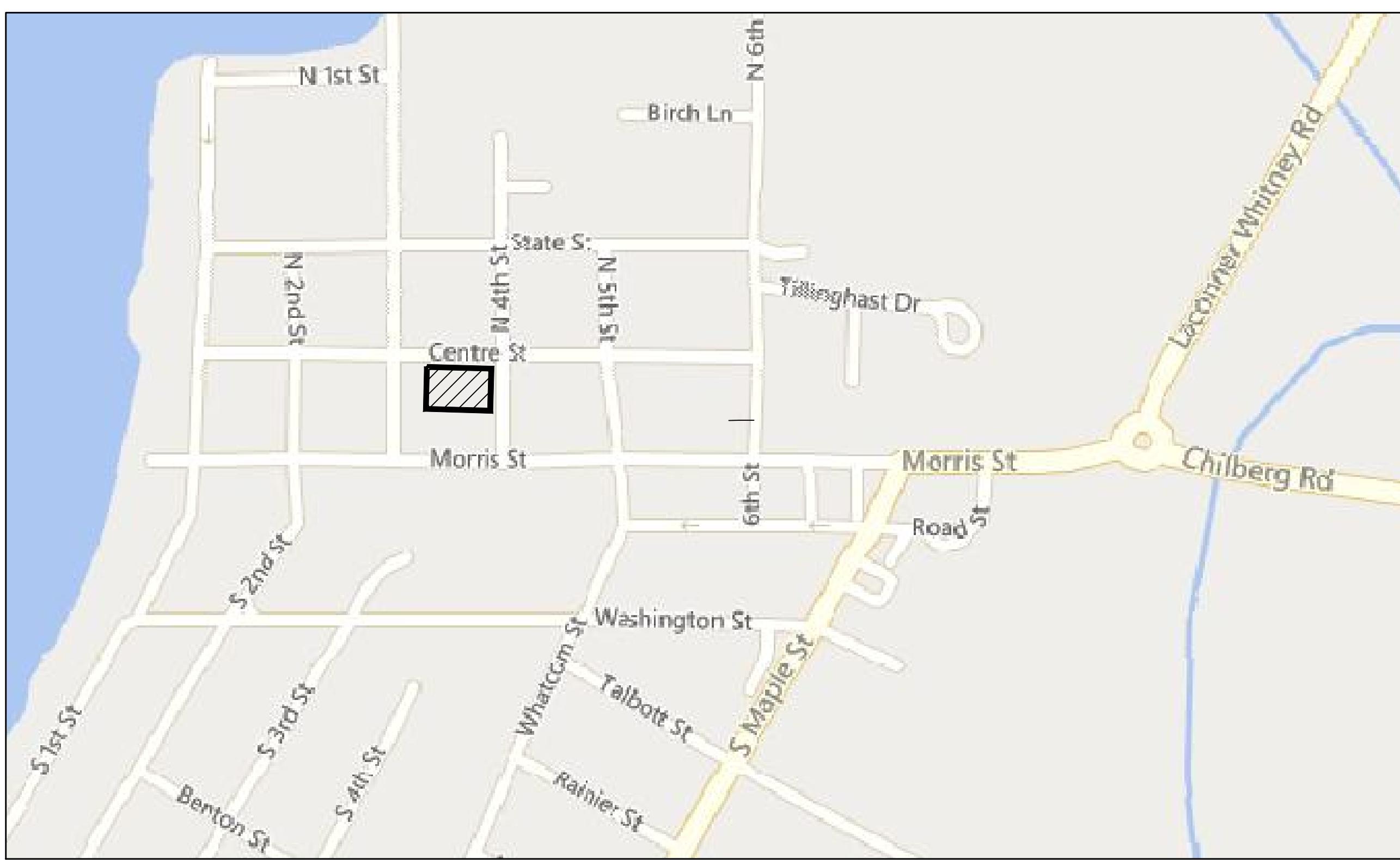
SOUND GROUP, LLC
PAT SEVERIN / JAY STANDISH
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MOUNT VERNON, WA 98273
PH: 360.419.7400
EM: eccosdesign@gmail.com



VICINITY MAP
NOT TO SCALE

UTILITIES SERVING THE SITE

WATER:
LA CONNER PUBLIC WORKS
CONTACT: BRIAN LEASE
(360) 466-3933

POWER:
PUGET SOUND ENERGY
CONTACT: MIKE JUDY
(425) 324-0223

CABLE:
COMCAST
CONTACT: SHANE TURNER
(360) 316-9405

TELEPHONE:
ZIPFLY FIBER
CONTACT: DENNIS KELLER
(360) 757-4530

GAS:
CASCADE NATURAL GAS
CONTACT: TED McCAMMANT
(360) 708-4689

SANITARY SEWER:
TOWN OF LA CONNER
CONTACT: BRIAN LEASE
(360) 466-3933

TOWN OF LA CONNER GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF LA CONNER THAT ARE CONTAINED IN A BOUND VOLUME ENTITLED "INFRASTRUCTURE IMPROVEMENTS PROJECT MANUAL."
- THE LOCATION OF THE EXISTING UTILITIES SHOWN ON THE DRAWING IS APPROXIMATE. LOCATION AND PROTECTION OF UNDERGROUND UTILITIES SHALL BE IN ACCORDANCE WITH CHAPTER 19.12 RCW. CALL 800-424-5555 AT LEAST TWO BUSINESS DAYS BEFORE ANY EXCAVATION.
- REPLACE ANY DAMAGED OR DESTROYED MONUMENTS.
- THIS PLAN AND PROFILE INFORMATION HAS BEEN FURNISHED BY THE DEVELOPER OR HIS ENGINEER.
- MINIMUM SEPARATION BETWEEN SANITARY SEWERS AND POTABLE WATER LINES SHALL BE 10 FEET HORIZONTALLY (MEASURED SIDE TO SIDE) AND 18 INCHES VERTICALLY FROM BOTTOM OF WATERLINE TO CROWN OF SEWER. MINIMUM VERTICAL SEPARATION FOR PERPENDICULAR OR OBLIQUE CROSSINGS SHALL BE 3 FEET FROM OUTSIDE EDGES. SITUATIONS THAT REQUIRE LESS THAN MINIMUM SEPARATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH DOE'S "CRITERIA FOR SEWAGE WORKS DESIGN", LATEST EDITION.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY EASEMENTS AND AGREEMENTS PRIOR TO CONSTRUCTION.
- A PLUG SHALL BE PLACED IN THE OUTLET PIPE OF THE EXISTING MANHOLE TO WHICH NEW PIPE IS TO BE CONNECTED OR IN THE OUTLET OF THE FIRST NEW MANHOLE. THIS PLUG SHALL REMAIN IN PLACE AND MAY NOT BE REMOVED WITHOUT THE PERMISSION OF THE TOWN OF LA CONNER. REMOVAL WILL RESULT IN FORFEITURE OF THE SYSTEM ISOLATION DEPOSIT.

CAUTION - EXTREME HAZARD - OVERHEAD ELECTRICAL SERVICE LINES ARE GENERALLY NOT SHOWN ON THE DRAWINGS. ELECTRICAL LINES SHOWN ON THE DRAWINGS ARE LOCATED BY POINT-TO-POINT, POWER-POLE-TO-POWER-POLE CONNECTION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXTENT OF ANY HAZARD CREATED BY OVERHEAD ELECTRICAL POWER IN ALL AREAS AND SHALL FOLLOW PROCEDURES DURING CONSTRUCTION AS REQUIRED BY LAW AND REGULATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH UTILITY OWNERS AND DETERMINE THE EXTENT OF HAZARD AND REMEDIAL MEASURES, AND SHALL TAKE WHATEVER PRECAUTIONS MAY BE REQUIRED.

UNDERGROUND FIRE LINE REQUIREMENTS:

- THE ENTIRE UNDERGROUND FIRE LINE WILL REQUIRE A FULL HYDRO-TEST AT 200 PSI FOR TWO (2) HOURS. CONTACT THE FIRE MARSHAL BEFORE PERFORMING THIS TEST.
- EACH FIRE HYDRANT AND FDC RISER ON THE FIRE SYSTEM WILL REQUIRE A ONE (1) MINUTE FLUSH FROM THE PUMPER PORT OR MANIFOLD WITH A DIFFUSER OR UNTIL THERE ARE NO PARTICULATES IN THE SYSTEM.
- THE PUMPER PORT ON THE HYDRANTS SHALL HAVE A FIVE (5) INCH STORTZ HARD FACED COUPLER INSTALLED PRIOR TO FINAL APPROVAL.
- A COPY OF NFPA U FORM FILLED OUT MUST BE PROVIDED TO THE FIRE MARSHAL PRIOR TO FINAL.
- ALL FITTINGS AND PIPING FROM THE VAULT TO THE BUILDING WILL NEED TO BE INSPECTED BY THE FIRE MARSHAL PRIOR TO COVER.
- THREE (3) SETS OF PLANS, MATERIAL CUT SHEETS AND FIRE FLOW CALCULATIONS WILL NEED TO BE APPROVED PRIOR TO ANY WORK BEING DONE.
- ALL WORK BEING DONE FROM THE DOUBLE CHECK VALVE ASSEMBLY TO THE RISER WILL NEED TO BE INSTALLED BY A U LICENSED CONTRACTOR.
- THE FIRE LINE MUST BE BACKFILLED WITH EITHER SAND OR PEA GRAVEL. NATIVE MATERIALS CANNOT BE USED AS BACKFILL MATERIALS.

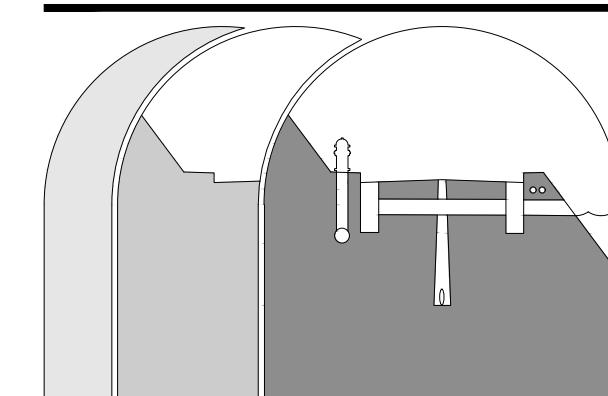
SCALE: **NO SCALE**
DRAWN BY: **C.SEVERIN**
DESIGNED BY: **P.SEVERIN**
DATE: **08.30.2023**
JOB NUMBER: **21098**
DWG NAME: **21098PLN.DWG**
SHEET NUMBER: **C1.0**



PROJECT:

SHEET DESCRIPTION:

COVER SHEET
FOR
KSA INVESTMENTS, LLC



Sound Development Group
ENGINEERING, SURVEYING & LAND DEVELOPMENT SERVICES
P.O. Box 1705 • 1111 Cleveland Avenue, Suite 202
Mount Vernon, WA 98273 Tel: 360-404-2010

SHEET REVISIONS:

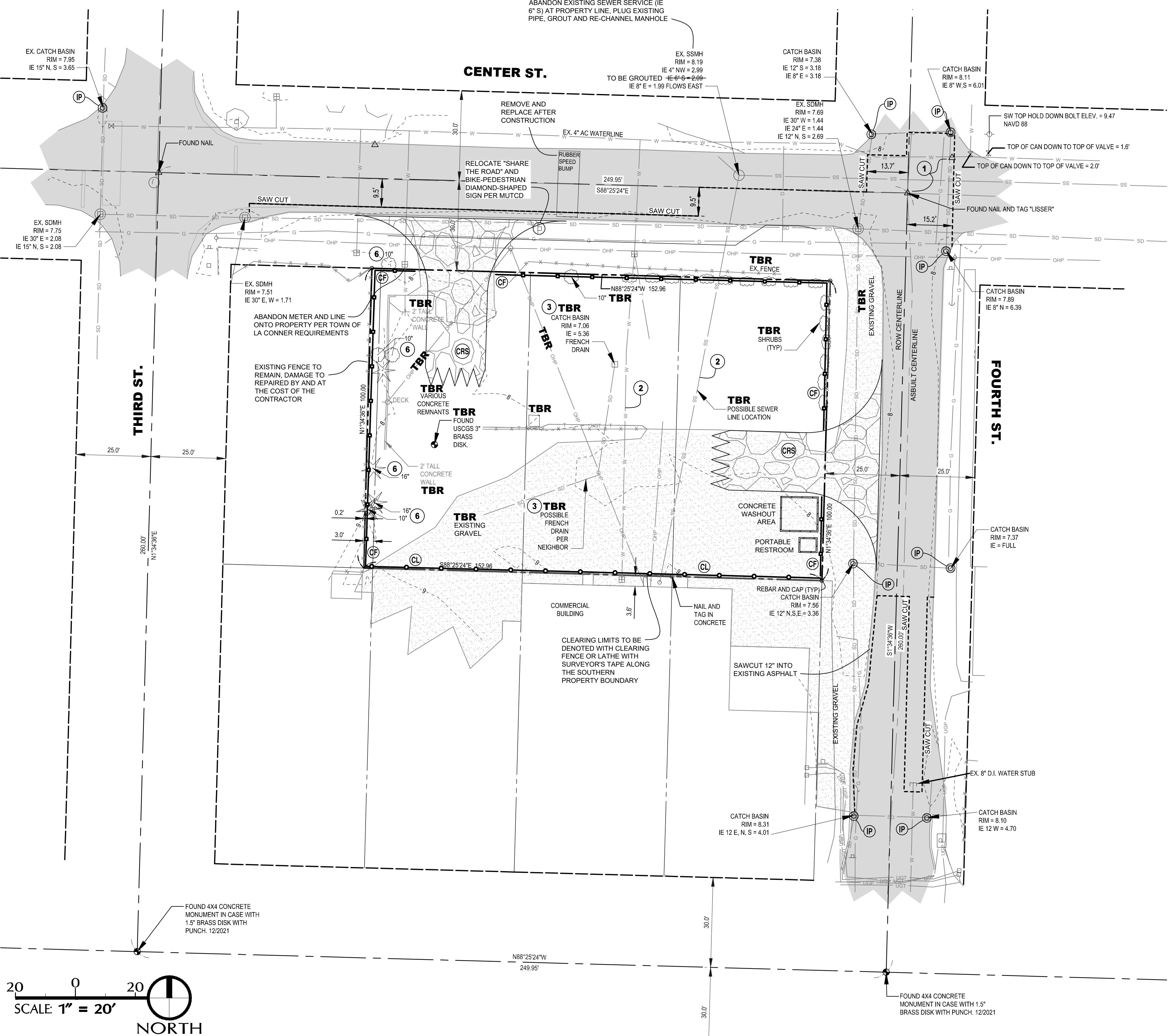
NO DATE DESCRIPTION APPROVED

1 9.22.23 ARCHITECT REVISION P.L.S.

**CALL 48 HOURS
BEFORE YOU DIG
1.800.424.5555**

IN A PORTION OF THE NE QUARTER OF SECTION 36, TOWNSHIP 34 N, RANGE 02 E, W.M.

LA CONNER, WASHINGTON



TESC PLAN LEGEND

| CODE | SYMBOL | DESCRIPTION |
|-------------|---------------|--|
| CRS | | CONSTRUCTION ROAD STABILIZATION, PER DETAIL A/1.2, IF EXISTING GRAVEL IS NOT SUFFICIENT FOR SEDIMENT REMOVAL FROM WHEELS. INSTALL RUMBLE STRIP PLATES AT ENTRANCE AND EXIT, AS REQUIRED BY THE FILL, GRADE AND/OR CLEARING PERMIT APPROVED ON 8/15/23 BY THE TOWN OF LA CONNER |
| CF | | ORANGE CONSTRUCTION FENCE (BMP C103) OR EQUIVALENT HIGH VISIBILITY FENCE AT CESCL DISCRETION DURING DRY SEASON, SILT FENCE DURING WET SEASON |
| CL | | CLEARING LIMITS - CLEARING / ORANGE CONSTRUCTION FENCE (BMP C103) OR LATHE AND SURVEYOR'S TAPE |
| VEG | | RETAIN EXISTING VEGETATION |
| IP | | INLET PROTECTION PER DETAIL B/1.2. TO BE INSTALLED ON ALL PROPOSED AND EXISTING CBs WITH OPEN GRATES |
| SP | | SILT PROTECTION - STRAW WADDLES |
| PS | | PERMANENT SEEDING AND PLANING, BMP C120 AND BMP T5.13 |
| DC | | DUST CONTROL |
| TBR | | TO BE REMOVED |

**CALL 48 HOURS
BEFORE YOU DIG
1.800.424.5555**

CENTER STREET MIXED-USE FOR KSA INVESTMENTS. LLC

EXISTING CONDITIONS, DEMOLITION AND TESC PLAN



CALE: **1" = 20'**

DRAWN BY: **C.SEVERIN**

DESIGNED BY: **P.SEVERIN**

DATE: **08.30.2023**

JOB NUMBER: **21098**

DWG NAME: **21098PLN.DWG**

HEET NUMBER:

C1.1

IN A PORTION OF THE NE QUARTER OF SECTION 36, TOWNSHIP 34 N, RANGE 02 E, W.M. LA CONNER, WASHINGTON

ESC-1 STANDARD ESC NOTES

APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROAD/PIPES, RESTRICTIVE CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

- AS DIRECTED BY PUBLIC WORKS DIRECTOR PRIOR TO COMMENCING CONSTRUCTION, ALL CRITICAL AREAS, INCLUDING WETLAND BUFFERS, STREAM CORRIDOR, LANDFILL AREAS, AND STEEP SLOPES SHALL BE CONTINUOUSLY DEMARCATED IN THE FIELD USING FLAGGING TAPE OR FENCING.
- EROSION CONTROL METHODS AND MATERIALS SHALL MEET REQUIREMENTS OF SECTION 8-01 OF THE APA/WASHINGTON STATE DEPARTMENT OF TRANSPORTATION 2004 STANDARDS SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, AND REQUIREMENTS SET FORTH IN VOLUME 1 OF THE STORMWATER MANAGEMENT MANUAL FOR THE PUGET SOUND BASIN (THE TECHNICAL MANUAL). BY THE WASHINGTON STATE DEPARTMENT OF ECOLOGY, CURRENT EDITION, THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS MADE BY SUPPLIERS AND MANUFACTURERS OF MATERIALS AND EQUIPMENT USED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRAVING OR LAND CLEARING. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPFODED (E.G. ADDITIONAL SITES, RELOCATIONS OF DITCHES AND SILT TRAPS, ETC.) AS NEEDED FOR UNEXPECTED SITE CONDITIONS. ADDITIONAL ESC FACILITIES MAY BE REQUIRED TO ENHANCE THE SEDIMENT TRAP. THEREFORE, THE OWNER OF THE CONSTRUCTION CONTRACT SHALL BE THE OBLIGATED AND RESPONSIBLE OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM, WHICH BACKS UNDER OR INTO A POND, SHALL BE USED AS A TEMPORARY SETTING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 10 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF TWO (2) INCHES.
- ALL WORK AREA MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF LA CONNER STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE TOWN OF LA CONNER PUBLIC WORKS DIRECTOR AND TOWN OF LA CONNER INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A FOUR (4) FOOT HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRAVING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCUPANT.
- A CLEARING CONTROL FENCE SHALL BE INSTALLED AT THE DRY LINE OF TREES TO BE SAVED WHEREVER THE TREE CANOPIES EXTEND INTO THE AREA TO BE CLEARED. ON-SITE SUPERVISION SHALL BE PROVIDED WHENEVER EQUIPMENT MUST OPERATE UNDER TREE CANOPIES, AND FENCING SHALL BE REPLACED WHEN NECESSARY. THE CLEARING CONTROL FENCE SHALL CONSIST OF A SINGLE STRAND OF WIRE ATTACHED ABOUT THREE (3) FEET HIGH TO WOOD LATH AT A TWELVE (12) FOOT MAXIMUM SPACING AND FLAGGED WITH SURVEY RIBBON AT FOUR (4) FOOT INTERVALS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH A POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE TOWN OF LA CONNER. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO DEPTH OF ONE (1) FOOT AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND 1"-2" ROCK/10%-20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT, BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAVED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPRESSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RECLAMING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RELAYING THE STORM LINE.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.

20. THE ESC SUPERVISOR NAME IS: _____
24 HR. CONTACT NUMBER IS: _____

21. THE APPLICANT'S NAME IS: _____
24 HR. CONTACT NUMBER IS: _____

22. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.

23. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF THE MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).

24. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).

25. ANY AREA NEEDING ESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN (15) DAYS.

26. THE ESC FACILITIES ON ACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY-EIGHT (48) HOURS FOLLOWING A STORM EVENT.

27. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN, ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

28. OFF-SITE STORMWATER AND/OR GROUNDWATER TO BE DIVERTED AWAY FROM SLOPES & DISTURBED AREAS WITH INTERCEPTOR DIKES, PIPES, OR SWALES. OFF-SITE STORMWATER SHALL BE MANAGED DIFFERENTLY FROM STORMWATER GENERATED ON-SITE.

29. EXCAVATED MATERIAL TO BE PLACED ON UPHILL SIDE OF TRENCH.

30. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

31. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION AS ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

32. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEADED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEADED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEADED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE TOWN OF LA CONNER INSPECTOR. THE TOWN OF LA CONNER INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

ESC-2 WET SEASON SPECIAL PROVISIONS (OCTOBER 1 - APRIL 30)

- THE ALLOWED TIME THAT A DISTURBED AREA CAN REMAIN UNWORKED WITHOUT COVER MEASURES IS REDUCED TO TWO DAYS, RATHER THAN SEVEN.
- STOCKPILES AND STEEP CUT AND FILL SLOPES ARE TO BE PROTECTED IF UNWORKED FOR MORE THAN 12 HOURS.
- COVER MATERIALS SUFFICIENT TO COVER ALL DISTURBED AREAS SHALL BE STOCKPILED ON SITE.
- ALL AREAS THAT ARE TO BE UNWORKED DURING THE WET SEASON SHALL BE SEADED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.
- MULCH IS REQUIRED TO PROTECT ALL SEADED AREAS.
- FIFTY LINEAR FEET OF SILT FENCE (AND THE NECESSARY STAKES) PER ACRE OF DISTURBANCE MUST BE STOCKPILED ON SITE.
- CONSTRUCTION ROAD AND PARKING LOT STABILIZED ARE REQUIRED FOR ALL SITES UNLESS THE SITE IS UNDERLAIN BY COARSE-GRAINED SOIL.
- SEDIMENT RETENTION IS REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIC DESIGN FLOW.
- SURFACE WATER CONTROLS ARE REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIED DESIGN FLOW.
- PHASING AND MORE CONSERVATIVE BMP'S MUST BE EVALUATED FOR CONSTRUCTION ACTIVITY NEAR SURFACE WATERS.

11. ANY RUNOFF GENERATED BY DEWATERING SHALL BE TREATED THROUGH CONSTRUCTION OF A SEDIMENT TRAP WHEN THERE IS SUFFICIENT SPACE OR BY RELEASING THE WATER TO A WELL-VEGETATED, GENTLY SLOPING AREA. SINCE PUMPS ARE USED FOR WATERING, IT MAY BE POSSIBLE TO PUMP THE SEDIMENT-LADEN WATER WELL AWAY FROM THE SURFACE WATER SO THAT VEGETATION CAN BE MORE EFFECTIVELY UTILIZED FOR FILTERING. A SILT FILTER MAY BE PLACED IN FRONT OF THE PUMP TO PREVENT SEDIMENT FROM THE PUMP. IF THERE IS NOT SPACE FOR A SEDIMENT TRAP OR 25 FEET OF SUITABLE VEGETATION, OTHER FILTRATION METHODS SHALL BE REQUIRED.

12. THE FREQUENCY OF MAINTENANCE REVIEW INCREASES FROM MONTHLY TO WEEKLY.

13. SOILS SHALL BE STABILIZED AT THE END OF THE SHIFT, BEFORE A HOLIDAY OR WEEKEND, IF NEEDED, BASED ON THE WEATHER FORECAST.

ESC-3 SENSITIVE AREAS SPECIAL PROVISIONS

1. WHEREVER POSSIBLE, PHASE ALL OR PART OF THE PROJECT SO THAT IT OCCURS DURING THE DRY SEASON. IF THIS IS IMPOSSIBLE, NOVEMBER THROUGH FEBRUARY SHALL BE AVOIDED SINCE THIS IS THE MOST LIKELY PERIOD FOR LARGE, HIGH-INTENSITY STORMS.
2. ALL PROJECTS SHALL BE COMPLETED AND STABILIZED AS QUICKLY AS POSSIBLE. LIMITING THE SIZE AND DURATION OF A PROJECT IS PROBABLY THE MOST EFFECTIVE FORM OF EROSION CONTROL.
3. WHERE APPROPRIATE, SANDBOXES OR AN EQUIVALENT BARRIER SHALL BE CONSTRUCTED BETWEEN THE PROJECT AREA AND THE SURFACE WATER IN ORDER TO ISOLATE THE CONSTRUCTION AREA FROM HIGH WATER THAT MIGHT RESULT DUE TO PRECIPITATION.
4. ADDITIONAL PERIMETER PROTECTION SHOULD BE CONSIDERED TO REDUCE THE LIKELIHOOD OF SEDIMENT ENTERING THE SURFACE WATERS. SUCH PROTECTION MIGHT INCLUDE MULTIPLE SILT FENCES, SILT FENCES WITH A HIGHER AOS, CONSTRUCTION OF A BERM, OR A THICK LAYER OF ORGANIC MULCH UPSTREAM OF THE STREAM.
5. IF WORK IS TO OCCUR WITHIN THE ORDINARY HIGH WATER MARK OF A STREAM, MOST PROJECTS MUST ISOLATE THE WORK AREA FROM THE STREAM BY DIVERTING THE STREAM OR CONSTRUCTING A COFFERDAM. CERTAIN SMALL PROJECTS THAT PROPOSE ONLY A SMALL AMOUNT OF GRAVING MAY NOT REQUIRE ISOLATION SINCE DIVERSIONS TYPICALLY RESULT IN DISTURBANCE AND THE RELEASE OF SOME SEDIMENT TO THE STREAM. FOR SUCH SMALL PROJECTS, THE POTENTIAL IMPACTS FROM CONSTRUCTION WITH AND WITHOUT A DIVERSION MUST BE WEIGHED.
6. IF A STREAM MUST BE CROSSED, A TEMPORARY BRIDGE SHALL BE CONSIDERED RATHER THAN ALLOWING EQUIPMENT TO UTILIZE THE STREAMBED FOR A CROSSING.
7. ANY RUNOFF GENERATED BY DEWATERING SHALL BE TREATED THROUGH CONSTRUCTION OF A SEDIMENT TRAP WHEN THERE IS SUFFICIENT SPACE OR BY RELEASING THE WATER TO A WELL-VEGETATED, GENTLY SLOPING AREA. SINCE PUMPS ARE USED FOR WATERING, IT MAY BE POSSIBLE TO PUMP THE SEDIMENT-LADEN WATER WELL AWAY FROM THE SURFACE WATER SO THAT VEGETATION CAN BE MORE EFFECTIVELY UTILIZED FOR TREATMENT. A STRAW BALE FILTER SHALL BE PLACED AROUND THE DISCHARGED FROM THE DEWATERING PUMP. IF THERE IS NOT SPACE FOR A SEDIMENT TRAP OR 25 FEET OF SUITABLE VEGETATION, OTHER FILTRATION METHODS SHALL BE REQUIRED.

ESC-4 FINAL SITE STABILIZATION NOTES

1. ALL DISTURBED AREAS OF THE SITE SHALL BE VEGETATED OR OTHERWISE PERMANENTLY STABILIZED. AT A MINIMUM, DISTURBED AREAS SHALL BE SEADED AND MULCHED WITH A HIGH LIKELIHOOD THAT SUFFICIENT COVERAGE WILL DEVELOP SHORTLY AFTER FINAL APPROVAL. MULCH, WITHIN THE SENSITIVE AREA, IS NOT ADEQUATE TO ALLOW FINISH APPROVAL OF THE PERMIT, EXCEPT FOR SMALL AREAS OF MULCH USED FOR LANDSCAPING. THE ONLY EXCEPTIONS TO THESE REQUIREMENTS ARE AREAS LOTS WITHIN A PLAT THAT ARE TO BE DEVELOPED UNDER AN APPROVED RESIDENTIAL PERMIT IMMEDIATELY FOLLOWING PLAT APPROVAL. IN THESE CASES, MULCH AND/OR TEMPORARY SEEDING ARE ADEQUATE FOR COVER.
2. STRUCTURAL MEASURES SUCH AS, BUT NOT LIMITED TO, SILT FENCES, PIPE SLOPES, DRAINS, CONSTRUCTION ENTRANCES, STORM DRAINS, SILT PROTECTION, AND SEDIMENT TRAPS AND PONDS SHALL BE REMOVED FROM THE SITE. MEASURES THAT WILL QUICKLY DECOMPOSE, SUCH AS BRUSH BARRIERS AND ORGANIC MULCHES, MAY BE LEFT IN PLACE. IN THE CASE OF SILT FENCES, IT MAY BE BEST TO REMOVE FENCES IN CONJUNCTION WITH THE SEEDING. SINCE IT MAY BE NECESSARY TO BRING MACHINERY BACK IN TO REMOVE THEM, THIS WILL RESULT IN DISTURBED SOILS THAT WILL AGAIN REQUIRE PROTECTION. THE INSPECTOR MUST APPROVE AN APPLICANT'S PROPOSAL TO REMOVE FENCING PRIOR TO THE ESTABLISHMENT OF VEGETATION. IN SOME CASES, SUCH AS RESIDENTIAL BUILDING FOLLOWING PLAT DEVELOPMENT, IT MAY BE APPROPRIATE TO LEAVE SOME OR ALL ESC MEASURES FOR USE DURING SUBSEQUENT DEVELOPMENT. THIS SHALL BE DETERMINED ON A SITE-SPECIFIC BASIS.
3. ALL PERMANENT SURFACE WATER FACILITIES, INCLUDING CATCH BASINS, MANHOLES, PIPES, DITCHES, CHANNELS, R/D FACILITIES AND WATER QUALITY FACILITIES, SHALL BE CLEANED. ANY OFFSITE CATCH BASIN THAT REQUIRED PROTECTION DURING CONSTRUCTION SHALL ALSO BE CLEANED.
4. IF ONLY INFRASTRUCTURE OF THE SITE HAS BEEN DEVELOPED (E.G. SUBDIVISIONS AND SHOT PLATE) WITH BUILDING CONSTRUCTION OCCURRING AT A DIFFERENT PERIOD, THEN THE SENSITIVE AREA BUFFERS, SENSITIVE AREA FACTORS, OR SENSITIVE AREA SETBACK AREA SHALL BE CLEARLY MARKED AS DESCRIBED IN SECTION D.4.1 IN ORDER TO ALERT FUTURE BUYERS AND BUILDERS.

ESC-5 ROAD AND UTILITIES E.S.C. NOTES

1. PHASING THE PROJECT SO THAT THE SITE IS WORKED PROGRESSIVELY FROM END TO END, RATHER THAN CLEARING AND GRUBBING THE ENTIRE LENGTH OF THE PROJECT. THIS RESULTS IN SMALLER EXPOSED AREAS FOR SHORTER DURATIONS, THUS REDUCING THE EROSION RISK.
2. MULCHING AND VEGETATING CUT AND FILL SLOPES AS SOON AS THEY ARE GRADED. FREQUENTLY, THIS IS DONE AT THE END OF CONSTRUCTION WHEN PAVING OR UTILITY INSTALLATION IS COMPLETE. VEGETATING THESE AREAS AT THE START OF THE PROJECT STABILIZES THOSE AREAS MOST SUSCEPTIBLE TO EROSION.
3. PROTECT ALL CATCH BASIN INLETS WITH CATCH BASIN INSERTS WHEN THESE DO NOT DRAIN TO PONDS OR TRAPS. THIS WILL NOT PROVIDE THE SAME LEVEL OF PROTECTION AS A SEDIMENT POND OR TRAP, BUT CAN REMOVE MOST OF THE SAND-SIZED MATERIAL ENTRAINED IN THE RUNOFF.
4. PHASING THE PROJECT SO THAT ALL CLEARING AND GRADING IN SENSITIVE AREA BUFFERS OCCURS IN THE DRY SEASON. THIS SUBSTANTIALLY REDUCES THE CHANCE OF EROSION AND ALLOWS FOR RAPID REVEGETATION IN THE LATE SUMMER AND EARLY FALL.
5. USING FLOCULANT TO REDUCE THE TURBIDITY OF WATER RELEASED FROM SEDIMENT PONDS, WHEN APPROVED BY THE DEPARTMENT OF ECOLOGY.
6. HIRING A PRIVATE CONSULTANT WITH EXPERTISE IN ESC TO REVIEW AND MONITOR THE SITE.

ESC-6 CONSTRUCTION SEQUENCE

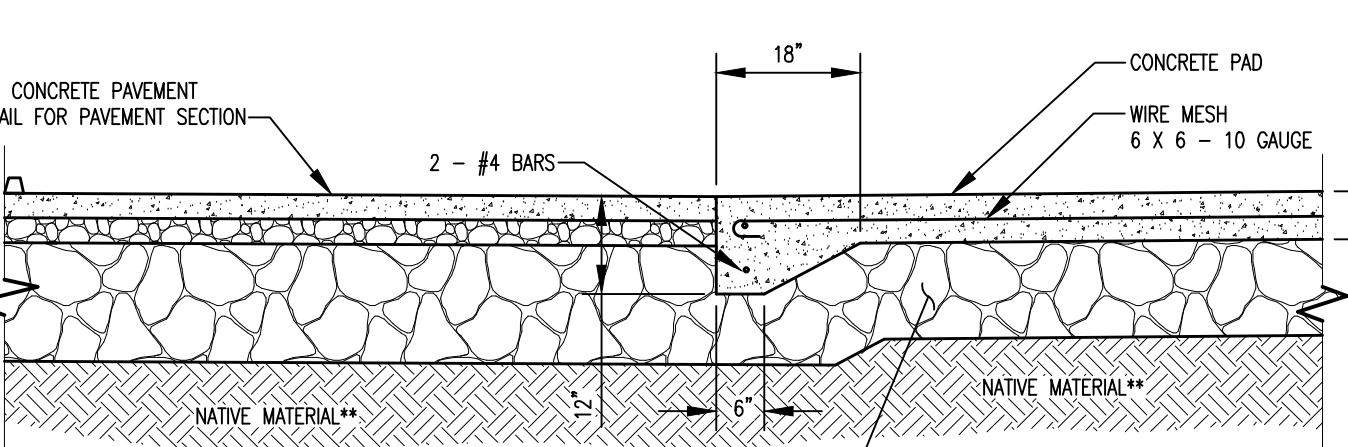
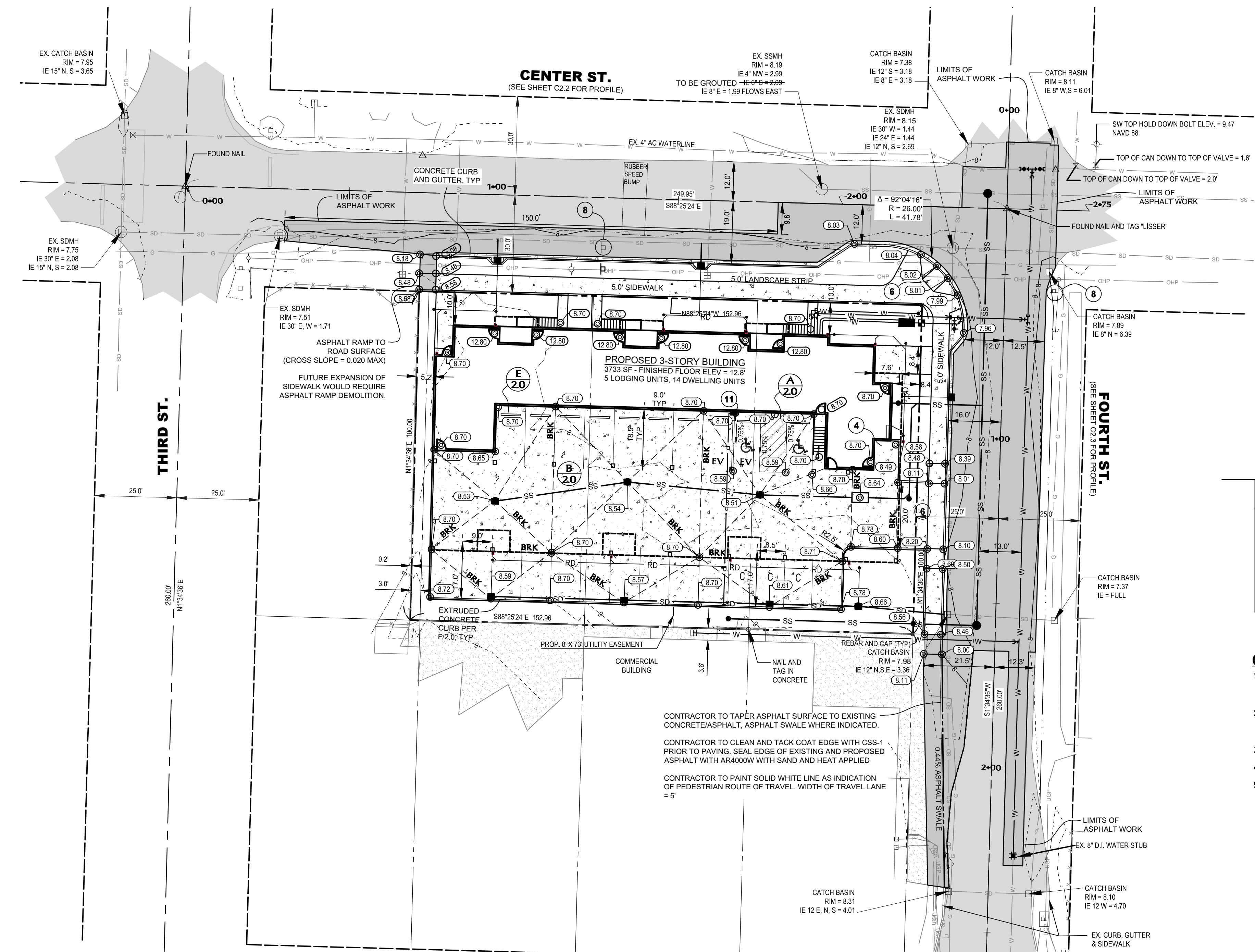
1. ATTEND PRE-CONSTRUCTION MEETING.
2. FLAG OR FENCE CLEARING LIMITS.
3. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR.
4. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCES(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC).
7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE TOWN OF LA CONNER STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
11. RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE TOWN OF LA CONNER EROSION AND SEDIMENT CONTROL STANDARDS.
12. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
13. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
14. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMP'S REMOVED IF APPROPRIATE.

SEEDING

SEED MIXES: THE SEED MIXES LISTED BELOW INCLUDE RECOMMENDED MIXES FOR TEMPORARY SEEDING. THESE MIXES, WITH THE EXCEPTION OF THE WETLAND MIX, SHALL BE APPLIED AT A RATE OF 130 LBS/ACRE. THIS RATE CAN BE REDUCED IF SOIL AMENDMENTS OR SLOW RELEASE FERTILIZERS ARE USED.

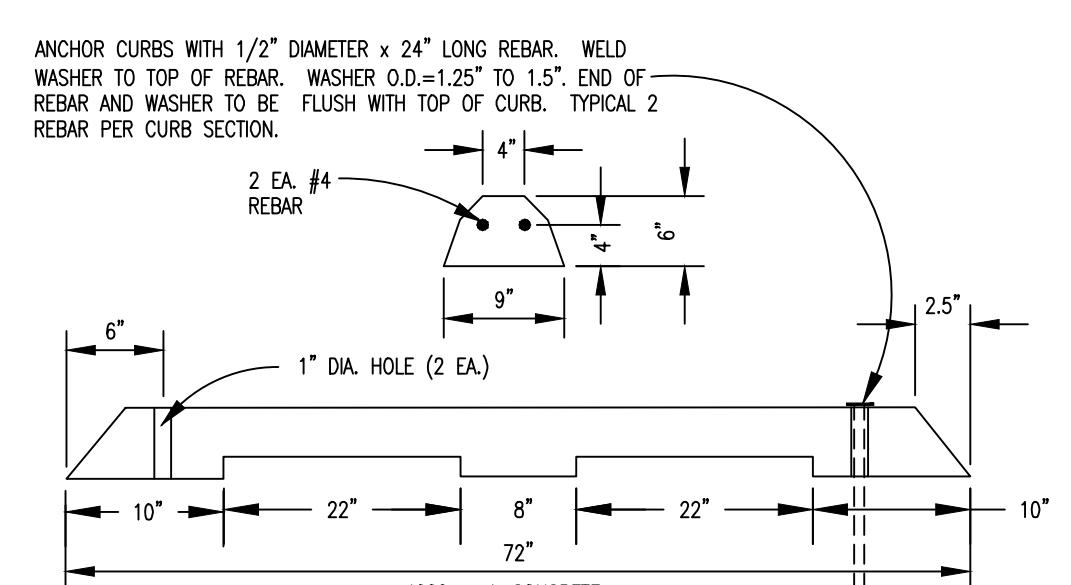
| TEMPORARY EROSION CONTROL SEED MIX | % WEIGHT | % PURITY | % GERMINATION |
|---|----------|----------|---------------|
| FESTUCA RUBRA VAR. COMMUNA OR FESTUCA RUBRA | 40 | 98 | 90 |
| ANNUAL OR PERENNIAL RYE | 10 | 92 | 85 |
| LOLUM MULTIFLORUM OR LOLUM PERENN | 10 | 92 | 85 |
| REDTOP CARPENTER GRASS | 10 | 92 | 85 |
| AGROSTIS ALBA OR AGROSTIS TENUS | 10 | 98 | 90 |
| WHITE DUTCH CLOVER | | | |
| TRIPOLIUM REPENS | | | |

| BIOSEALE SEED MIX (MODIFIED BRIGGREN, INC., HYDROSEEDING GUIDE WETLANDS SEED MIX) | % WEIGHT | % PURITY | % GERMINATION |
|---|----------|----------|---------------|
| TALL CHAMOMILE FESSEL | 68 | 98 | 90 |
| FESTUCA RUBRA VAR. COMMUNA OR FESTUCA ELATIOR | 10 | 98 | 85 |
| SEASIDE CREEPING BENTGRASS | 10 | 90 | 80 |
| MEADOW FOXTAIL | 6 | 98 | 90 |
| ALEPOPOUS PRATENSIS | 6 | 92 | 85 |
| TRIFOLIUM HYBRIDUM | 6 | 92 | 8 |

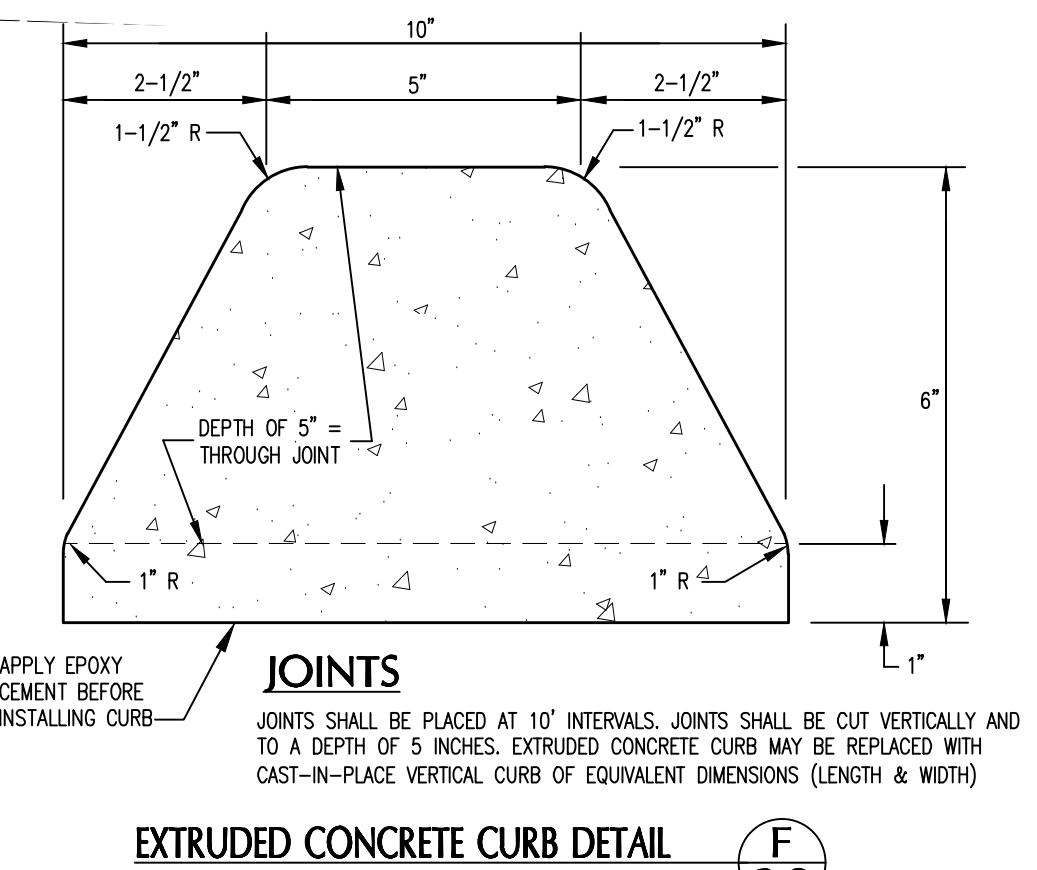


GENERAL NOTE
SEE ARCHITECTURAL PLANS FOR ENCLOSURE DETAILS AND CONSTRUCTION.

CONCRETE DUMPSTER PAD DETAIL
NOT TO SCALE
(D.2.0)



CEMENT CONCRETE PARKING CURB DETAIL
NOT TO SCALE
(E.2.0)

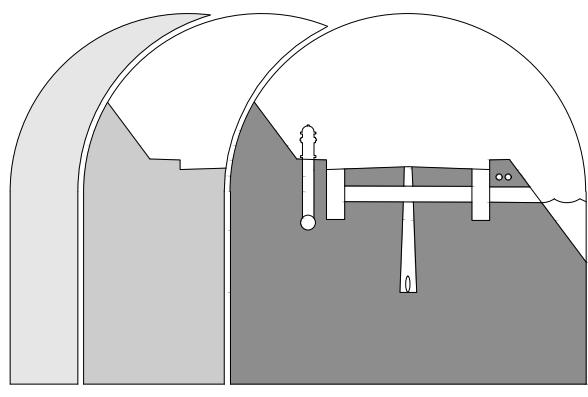


EXTRUDED CONCRETE CURB DETAIL
NOT TO SCALE
(F.2.0)

LA CONNER, WASHINGTON

SHEET NOTES

- CONTRACTOR TO PROTECT EXISTING TREES ALONG WESTERN PROPERTY LINE AND ASSOCIATED ROOT SYSTEM. THE PROJECT LANDSCAPE ARCHITECT AND/OR ARBORIST IS TO BE CONTACTED IMMEDIATELY SHOULD ANY CONCERN ARISE REGARDING THE TREES.
- THE 5.0' LANDSCAPE STRIP BORDERING THE NORTHERN SIDEWALK IS TO NOT ADVERSELY IMPACT SIDEWALK LIGHTING. FOR ADDITIONAL DETAILS, REFER TO THE LANDSCAPE PLAN.
- CONTRACTOR TO MINIMIZE IMPACT TO ALL FOUND MONUMENTS AND TO SCHEDULE RESTORATION OF MONUMENT(S) BY A LICENSED PROFESSIONAL LAND SURVEYOR AT THE COMPLETION OF CONSTRUCTION, AS NECESSARY AND APPROPRIATE.
- BUILDING DIMENSIONS: SEE ARCHITECTURE PLANS
PROPOSED UNITS: 5 LODGING UNITS, 14 DWELLING UNITS
GROUND LEVEL ELEV: 8.70' (NO OCCUPANCY AT THIS ELEVATION)
FINISHED FLOOR (UNIT) ELEV: 12.8' (OCCUPANCY AT THIS ELEVATION)
- BUILDING FOOTPRINT AREA: 3.733 SF - 0.0087 AC
BUILDING COVERAGE (INCL. COVERED PARKING AND OVERHANGS): 9.473 SF - 0.2175 AC
- PARKING STALLS PROVIDED: 11 STANDARD STALLS, 3 COMPACT STALLS, 8 LONG STALLS, 2 ACCESSIBLE STALLS (24 TOTAL)
- DUMPSTER AREA DIMENSIONS: 7.5' X 9' (CONSTRUCTED PER DETAIL D.2.0)
- FOURTH STREET IS TO HAVE A FULL STREET ASPHALT OVERLAY WITH GRADING AS SHOWN ON PLANS. CENTER STREET IS TO HAVE A QUARTER-HALF STREET OVERLAY. OVERLAY EXTENTS ARE OUTLINED WITH SAWCUT LINES AND/OR EDGE OF ASPHALT LINES. CONTRACTOR IS TO PAVE OVERLAY AND CONSTRUCT ADDITIONAL ROAD WIDTH PER TOWN OF LA CONNER STANDARD DETAIL G3/3.0. CONCRETE CURB AND GUTTER PER WSDOT STANDARD PLAN F-1a.
- CONCRETE PAVEMENT WITHIN THE PROPERTY BOUNDARY IS TO BE PER DETAIL B.2.0.
- ALL SIDEWALKS WITHIN THE RIGHT-OF-WAY ARE TO BE CONSTRUCTED PER WSDOT STANDARD PLAN F-3 WITH A TYPE 1 DRIVEWAY ENTRANCE OFF OF FOURTH STREET PER WSDOT STANDARD PLAN F-4. PERPENDICULAR CURB & RAMP AT INTERSECTION OF CENTER AND FOURTH STREET PER WSDOT STD PLAN F-40-15-04 ON SHEET C4.0.
- CONTRACTOR TO COORDINATE ALL UTILITY AND ROAD SHUT-DOWN PERIODS WITH THE TOWN OF LA CONNER. EMERGENCY DEPARTMENTS, UTILITY PURVEYORS AND AFFECTED PROPERTIES (RESIDENTIAL AND COMMERCIAL) CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN, APPROVED BY THE TOWN OF LA CONNER, PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR TO RELOCATE ALL EXISTING SIGNS AFFECTED BY CONSTRUCTION PER MUTCD, INCLUDING BUT NOT LIMITED TO THE 'SHARE THE ROAD' AND BIKE-PEDESTRIAN DIAMOND-SHAPED SIGN ON CENTER STREET AND THE STOP SIGN IN THE SOUTHEAST CORNER OF THE CENTER AND FOURTH STREET INTERSECTION.
- CONTRACTOR TO REPAINT SKIP YELLOW CENTER STRIPE ON CENTER AND FOURTH STREET, AND TO PAINT/REPAINT AFFECTED STOP BARS AT THE CENTER AND FOURTH STREET INTERSECTION, PLACED PER MUTCD.
- CONTRACTOR TO FOLLOW TOWN OF LA CONNER'S TYPICAL TRENCH SECTION DETAIL FOR ALL TRENCH RESTORATION WORK WITHIN THE RIGHT-OF-WAY (DETAIL G1/3.0) AND SDG DETAIL E3/2 FOR ALL ON-SITE TRENCHES.
- CONTRACTOR TO INSTALL TWO ELECTRIC VEHICLE CHARGING STATIONS AND 2" POWER CONDUIT FOR FUTURE CHARGING STATIONS PER THE ELECTRICAL PLAN



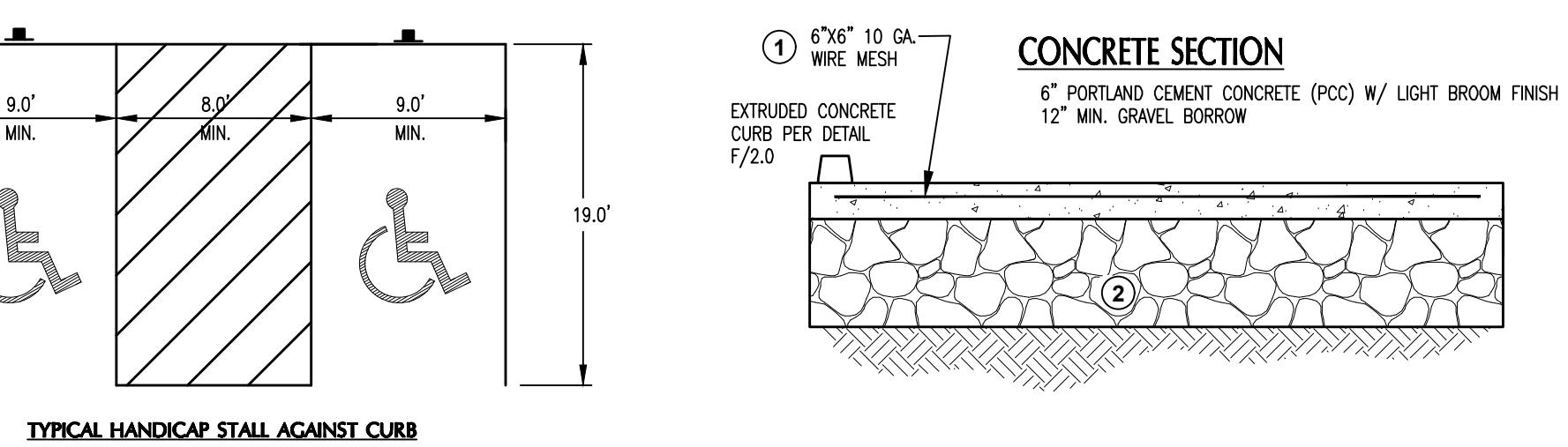
Sound Development Group
ENGINEERING, SURVEYING & LAND DEVELOPMENT SERVICES
P.O. Box 1705 • 1111 Cleveland Avenue, Suite 202
Mount Vernon, WA 98273 Tel: 360-404-2010

SHEET REVISIONS:
NO DATE DESCRIPTION APPROVED
1 9.22.23 ARCHITECT REVISION P.L.S.

CALL 48 HOURS
BEFORE YOU DIG
1.800.424.5555

PROJECT:
CENTER STREET
MIXED-USE
FOR
KSA INVESTMENTS, LLC

SHEET DESCRIPTION:
GRADING AND
DIMENSIONAL PLAN



TYPICAL HANDICAP STALL AGAINST CURB
& GUTTER OR SIDEWALK

GENERAL NOTES:

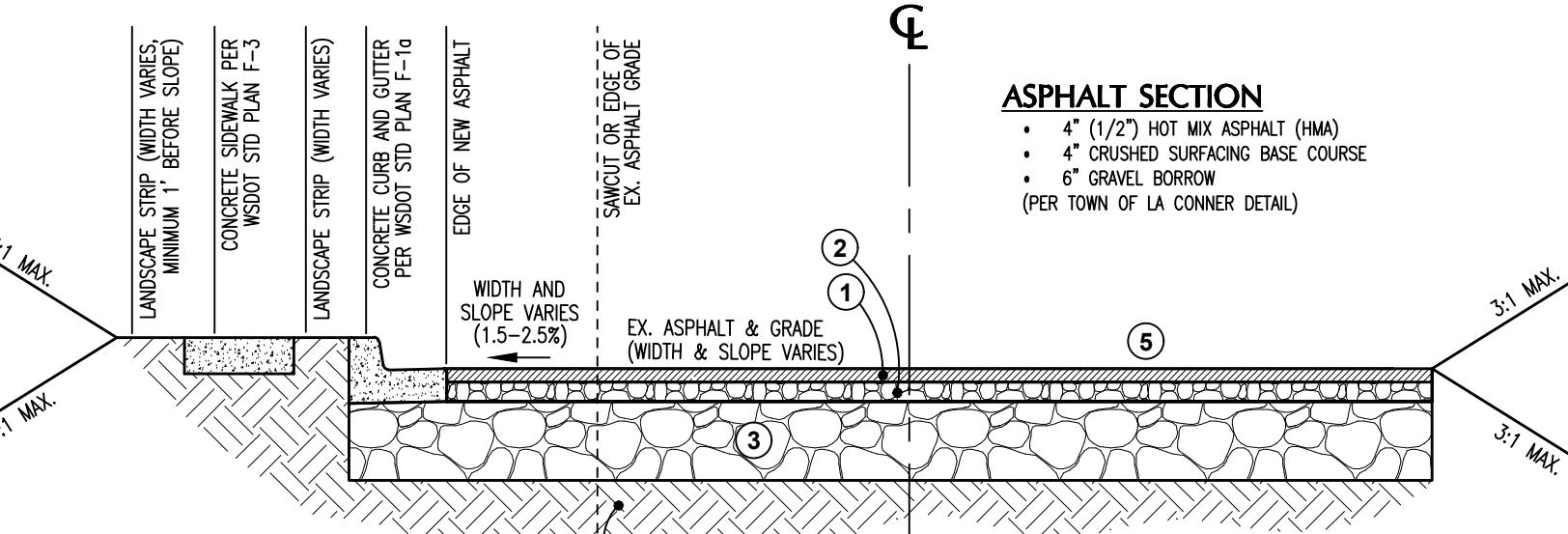
- ALL CONCRETE SHALL BE PORTLAND CEMENT CONCRETE (PCC), W/ LIGHT BROOM FINISH. CONTROL JOINTS SHALL HAVE 6" CONCRETE OVER 12" GRAVEL BASE COMPAKED TO 95% OF MAX. DENSITY.
- DUMMY JOINTS SHALL BE PLACED NOT TO EXCEED 15' O.C. NOR LESS THAN 10' O.C. THEY SHALL NOT BE LESS THAN 3/16" IN THICKNESS AND SHALL EXTEND 2-1/4" DEEP.
- CEMENT CONCRETE SHALL BE CLASS 3000 AIR ENTRAINED
- ALL JOINTS SHALL BE CLEARED AND EDGED.
- SUBGRADE COMPACTION SHALL BE 95% MODIFIED PROCTOR.

CMV TYPICAL PARKING STALL DIMENSIONS

NOT TO SCALE
(A.2.0)



ASPHALT SECTION
• 4" (1/2") HOT MIX ASPHALT (HMA)
• 4" CRUSHED SURFACING BASE COURSE
• 6" GRAVEL BORROW
(PER TOWN OF LA CONNER DETAIL)



GENERAL NOTES:

- ALL ASPHALT SHALL BE 1/2" HOT MIX ASPHALT CONFORMING TO SECTION 5-04 OF THE 2023 STANDARD SPECIFICATIONS, COMPAKED TO A MINIMUM OF 91% RICE DENSITY. WHERE PROPOSED ASPHALT EXISTS, EXISTING ASPHALT SHALL BE SAW CUT FULL DEPTH AND TACK COATED IMMEDIATELY BEFORE PAVING. ALL SURFACE JOINTS SHALL BE SEALED WITH AR 4000 W AND SAND, APPLIED WITH HEAT.
- CRUSHED SURFACING BASE COURSE SHALL CONFORM TO SECTION 9-03(9) OF THE 2023 STANDARD SPECIFICATIONS, COMPAKED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING. ALL CRUSHED SURFACING SHALL BE SPRAYED WITH SOIL RESIDUAL HERBICIDE A MAXIMUM OF 24 HOURS PRIOR TO PAVING, ACCORDING TO SECTION 5-04.3(5)D OF THE 2023 STANDARD SPECIFICATIONS.
- GRAVEL BASE, A MINIMUM OF 6 INCH COMPAKED DEPTH SHALL SUPPORT ALL PAVEMENT. GRAVEL BORROW WITH LESS THAN 5% PASSING THE 200 SIEVE, SHALL CONFORM TO SECTION 9-03-14 OF THE 2023 STANDARD SPECIFICATIONS COMPAKED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING. EXISTING GRAVEL MATERIAL MAY BE UTILIZED AS GRAVEL BORROW AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- THE EXCAVATED SUBGRADE SHALL BE FREE OF TOPSOIL, ORGANICS, AND OTHER DELETERIOUS MATERIAL, COMPAKED TO A MINIMUM OF 95% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557 TESTING, PREPARED CONFORMING TO SECTION 2-06.3(1) OF THE 2023 STANDARD SPECIFICATIONS.
- IN ALL AREAS OUTSIDE OF THE INDICATED ROAD WIDENING ON FOURTH STREET, CONTRACTOR TO MATCH EXISTING SUBGRADE SECTIONS, BACKFILL TRENCHES PER DETAIL G1/3.0 AND REFISH ASPHALT SURFACE. SEE TOWN OF LA CONNER DETAIL G3/3.0 FOR ADDITIONAL INFORMATION.

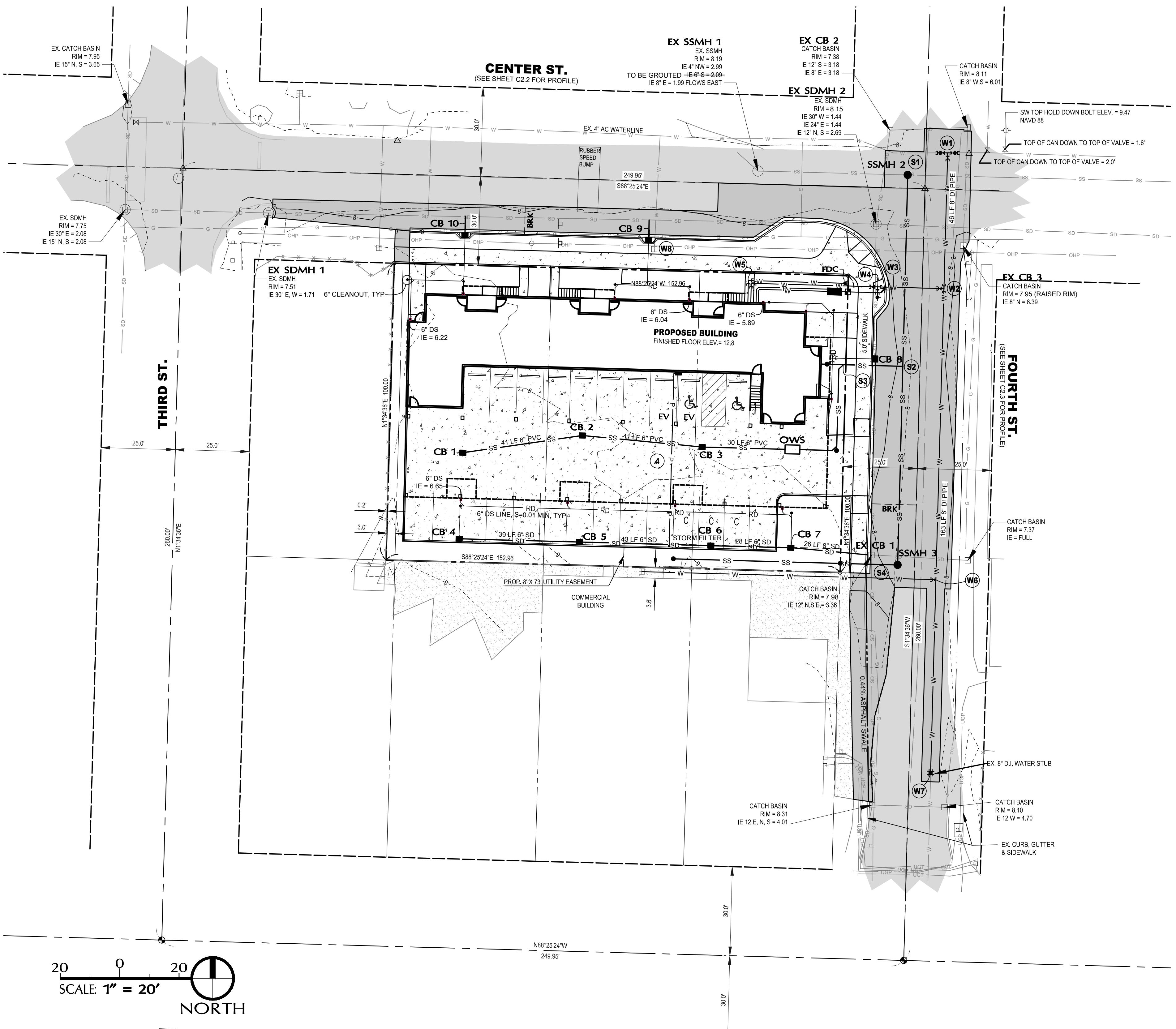
TYPICAL STREET PAVEMENT SECTIONS
(C.2.0)



SCALE: 1" = 20'
DRAWN BY: C. SEVERIN
DESIGNED BY: P. SEVERIN
DATE: 08.30.2023
JOB NUMBER: 21098
DWG NAME: 21098PLN.DWG

SHEET NUMBER:

C2.0



GENERAL UTILITY NOTES

- CONTRACTOR TO LOCATE AND VERIFY ALL SIZES, LOCATIONS, INVERTS AND MATERIALS OF EXISTING UTILITIES. NOTIFY ENGINEER IMMEDIATELY SHOULD ANY DISCREPANCIES OCCUR.
- ALL UTILITY STATIONING AND OFFSETS ON THIS SHEET ARE BASED ON THE FOURTH STREET ALIGNMENT, UNLESS SPECIFICALLY STATED OTHERWISE.
- ALL UTILITIES ARE TO BE CONNECTED AND INSTALLED BY THE CONTRACTOR UNLESS STATED OTHERWISE BY THE TOWN OF LA CONNER. CONTRACTOR IS RESPONSIBLE FOR ALL SAWCUTS, EXCAVATION, REMOVAL OF MATERIALS, CONNECTIONS, BACKFILL, COMPACTION, RESTORATION, RESURFACING AND OTHER WORK AS NECESSARY FOR PROJECT COMPLETION. CONTRACTOR TO PROVIDE A TRAFFIC CONTROL PLAN, APPROVED BY THE TOWN OF LA CONNER. CONTRACTOR TO PROVIDE DOCUMENTATION FOR MATERIAL SOURCES AND THE DUMP SITE, SUBJECT TO THE APPROVAL OF THE TOWN OF LA CONNER.
- ELECTRIC VEHICLE (EV) CHARGING STATION AND 1" CONDUIT FOR ADDITIONAL FUTURE CHARGING STATIONS TO BE INSTALLED BY THE CONTRACTOR WHERE INDICATED ON THESE PLANS, SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

WATERLINE NOTES

- ALL JOINTS TO BE RESTRAINED UNDER THE FOLLOWING WATERLINE NOTES: W1-2, W4-5, W7, THRUST-BLOCKING PER DETAIL W4.1. FIXTURES TO BE INSTALLED WITHIN THE BUILDING'S MECHANICAL/RISER ROOM INCLUDE A 6" DOUBLE-CHECK DETECTOR ASSEMBLY (FIRE LINE) PER TOWN OF LA CONNER STANDARDS. SEE MECHANICAL PLAN FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO VERIFY FIRE LINE SIZE WITH SPRINKLER DESIGNER PRIOR TO INSTALLATION (W3.W5).
- CONTRACTOR TO INSTALL ALL WATERLINE ELEMENTS WITH REASONABLE SEPARATION FROM OTHER UTILITIES, AND PER DETAIL A.3.1 FOR SEWER.
- CONTRACTOR TO INSTALL BLOW-OFF ASSEMBLIES, PERFORM PRESSURE AND BACTERIOLOGICAL TESTING, AND OBTAIN THE TOWN OF LA CONNER'S APPROVAL PRIOR TO CONNECTING THE PROPOSED WATERLINE TO ANY PORTION OF THE EXISTING WATER DISTRIBUTION SYSTEM (SEE W1 AND W7).
- W1 STA 0+17.77, 7.30 LT
1-8" D.I. TEE, FL CUT INTO EXISTING WATER MAIN
3-8" D.I. VALVES, FL X MJ (S OF TEE) PER W6.3.2
2-8" X 4" D.I. REDUCERS, PE X MJ (W.E)
2-4" D.P. (W.E)
2-4" TRANSITION COUPLINGS, DI X AC (W.E)
48 LF 8" D.I. PIPE TO TEE (S)
- W2 STA 0+63.48, 7.30 LT
1-8" D.I. TEE, MJ X FL
1-8" D.I. GATE VALVE, FL X MJ (W) PER DETAIL W6.3.2
21 LF 8" D.I. PIPE TO HYDRANT LINE AND METER SERVICE (W)
163 LF 8" D.I. PIPE TO SLEEVE (S)
- W3 1-2" SERVICE TAP INTO LINE BEFORE TEE
1-2" GATE VALVE PER DETAILS W2.3.1 & W6.3.2
131 LF 2" WATER SERVICE LINE TO METER PER DETAIL W2.3.1
1-15' LF 2" WATER SERVICE LINE TO TEE OF LA CONNER DETAIL W2.3.1
1-12' LF 2" WATER SERVICE LINE TO RPBA
1-2" REDUCED PRESSURE BACKFLOW ASSEMBLY PER DETAIL C.3.2
WITH HOTBOX MODE H2, POWER TO BE PROVIDED WITH 29 LF 1" CONDUIT AND BENDS AS NECESSARY
28 LF 2" WATER SERVICE LINE TO BUILDING PER DETAIL W2.3.1, BENDS AS NECESSARY
- W4 7 LF 4" D.I. PIPE FROM BUILDING TO BEND
1-4" D.I. BEND, MJ
32 LF 4" D.I. PIPE TO FDC
1-4" FIRE DEPARTMENT CONNECTION PER DETAIL D.3.2
- W5 1-1.5" SERVICE TAP INTO PROPOSED 8" WATERLINE PER DETAIL W2.3.1
1-1.5" GATE VALVE PER DETAILS W2.3.1 AND W6.3.2
88 LF 1.5" WATER SERVICE LINE (W)
CONNECT LINE TO EXISTING METER SETTER AND INSTALL 1" METER PER DETAIL W2.3.1
- W6 STA 2+26.56, 7.30 LT
1-8" D.I. SLEEVE TO EXISTING 8" D.I. STUB
- W7 EXISTING METER TO BE MOVED TO THE LANDSCAPE STRIP AND USED AS THE LANDSCAPE METER FOR THE PROJECT.

SANITARY SEWER NOTES

- ALL INVERTS ARE APPROXIMATE, AS CONFLICTS WITH EXISTING UTILITIES MAY ARISE. CONTRACTOR TO FOLLOW GENERAL UTILITY NOTE 1 AND IS TO CONTACT THE ENGINEER IMMEDIATELY REGARDING UTILITY CONFLICTS.
- CONTRACTOR TO INSTALL ALL SEWER ELEMENTS WITH MINIMUM SEPARATIONS FROM WATER LINES PER DETAIL A.2.1.
- CONTRACTOR TO INSTALL CLEAUNOTS PER TOWN OF LA CONNER DETAIL S7.3.1.
- CONTRACTOR TO INSTALL TYPE 1 MANHOLES (PER NOTES BELOW) PER DETAILS S1.3.0, S3.3.0, S5.3.0
- S1 SADDLE 48" STANDARD MANHOLE (SSMH 2) ONTO EXISTING 8" SEWER LINE, IE E,W = 1.67z, CHANNEL MANHOLE PER DETAIL S4.3.0
INSTALL 65 LF 8" PVC PIPE FROM MANHOLE TO NOTE S2, IE N = 3.58, S = 0.004 MIN
- S2 INSTALL 8X8" PVC TEE-WYE, IE = 3.97z
INSTALL 67 LF 8" PVC PIPE, S = 0.004 MIN (S TO NOTE S4)
INSTALL 20 LF 6" PVC PIPE, S = 0.010 MIN (W)
INSTALL 6" PVC TEE-WYE, IE = 5.50z
INSTALL 13 LF 6" PVC PIPE, S = 0.010 MIN (W OF TEE-WYE)
INSTALL 6" PVC TEE-WYE WITH CLEANOUT PER DETAILS S6.3.1 & S7.3.1
INSTALL 2 LF 6" PVC PIPE TO BUILDING, S = 0.010 MIN
- S3 INSTALL 26 LF PVC PIPE, S = 0.010 MIN (S OF TEE-WYE)
INSTALL 6" PVC TEE-WYE WITH CLEANOUT, IE = 5.78z
INSTALL 13 LF PVC PIPE, S = 0.010 MIN (W)
INSTALL 25-SA UTILITY VAULT OR EQUIVALENT
INSTALL COALESCING PLATE OIL-WATER SEPARATOR (25-CPS), IE TO SEWER = 5.91, IE TO CB 3 = 5.91
- S4 INSTALL 48" STANDARD MANHOLE (SSMH 3), IE 8" OUT (N) = 4.53, IE 6" IN (W) = 4.63, CHANNEL MANHOLE PER DETAIL S1.3.0
INSTALL 17 LF 6" PVC PIPE, S = 0.010 MIN (W)
INSTALL 6" PVC TEE-WYE WITH CLEANOUT, IE = 5.00z
INSTALL 13 LF 6" PVC PIPE, S = 0.010 MIN (W)
INSTALL 8" PVC TEE-WYE WITH CLEANOUT, IE = 6.22z
CONNECT TO EXISTING SEWER STUB WITH TEE-WYE AND CLEAUNOT AND PER GENERAL UTILITY NOTE 1 AND STREET SIDE SEWER DETAIL S7.3.1, MAINTAIN 2' OF COVER FOR LENGTH OF PIPE TO FOURTH STREET. MAINTAIN 5 HORIZONTAL AND 1.5 VERTICAL SEPARATION FROM WATER SERVICE LINE PER DETAIL A.2.1.

STORMWATER NOTES

- CATCH BASINS 1-3 ARE A PART OF THE SANITARY SEWER NETWORK, AS THEIR LOCATION WITHIN THE PROPOSED BUILDING ROOF LINE REQUIRES.
- CONTRACTOR TO RAISE THE RIM ELEVATION ON EXISTING CATCH BASINS 1 AND 2 (EX. CB 1.2) AND EXISTING STORM MANHOLE 2 (EX. SDMH 2) TO THE ELEVATIONS SPECIFIED BELOW.
- BEFORE INSTALLING CATCH BASINS 9 AND 10, CONTRACTOR IS TO LOCATE THE EXISTING UNDERGROUND GAS LINES AND CONTACT THE ENGINEER IMMEDIATELY SHOULD THE LOCATION OF THE GAS LINE CONFLICT WITH CATCH BASIN PLACEMENT OR STATED INVENTS.
- CONTRACTOR TO INSTALL TYPE 1 CATCH BASINS PER WSDOT STANDARD PLAN B-1 WITH GRATES PER WSDOT STANDARD PLAN B/2
- CONTRACTOR TO COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT. DOWNSPOUT LINES WILL CONNECT TO CATCH BASINS 7-10 AT THE INVENTS STATED BELOW, INDICATED WITH (D) DOWNSPOUT INVENTS AT THE END. FURTHER, FRAMES FOR THE CATCH BASINS ARE PROVIDED. CONTRACTOR TO DETERMINE PIPE LENGTHS AND FITTINGS. ADJUSTMENTS TO INVERT ELEVATIONS ARE ACCORDING TO FOR INVENTS. DOWNSPOUT LINES ARE MAINTAINED AND MINIMUM PIPE SLOPES ARE FOLLOWED (S = 0.010 MIN FOR 8" PIPES). CONFIRMATION WITH ENGINEER IS RECOMMENDED PRIOR TO INVERT CHANGES. CLEAUNOTS TO BE INSTALLED PER DETAILS A.3.2 AND B.3.2, AS APPROPRIATE.

CB 1 SEWER, BURLINGTON CB, STD GRATE

RIM = 8.53
IE 6" PVC IN, E = 7.03

CB 2 SEWER, BURLINGTON CB, STD GRATE

RIM = 8.54
IE 6" PVC IN, W = 6.62

CB 3 SEWER, BURLINGTON CB, STD GRATE

RIM = 8.51
IE 6" PVC IN, W = 6.21

CB 4 TYPE I CB, STD GRATE

RIM = 8.58
IE 6" PVC OUT, E = 6.58

CB 5 TYPE ICB, STD GRATE

RIM = 8.53
IE 6" PVC IN, W = 6.19

CB 6 I-CARTRIDGE STORMFILTER

SEE DETAIL ON SHEET C4.0

CB 7 TYPE ICB, STD GRATE

RIM = 8.57
IE 6" PVC IN, W = 5.76

CB 8 TYPE ICB, STD GRATE

RIM = 7.81
IE 6" PVC IN, S = 2.92

EX SDMH 2 48" MANHOLE, STD GRATE

RIM = 8.15 (RAISED RIM)

IE 30" PVC IN, W = 1.44

IE 12" PVC IN, N,S = 2.69

IE 30" PVC OUT, E = 1.44

CB 9 TYPE ILCB, STD GRATE

RIM = 7.72
IE 6" PVC IN, S (DS) = 5.72

IE 6" PVC OUT, N = 2.80

CB 10 TYPE ILCB, STD GRATE

RIM = 7.79
IE 6" PVC IN, S (DS) = 5.79

IE 6" PVC OUT, N = 2.88

EX CB 1 TYPE ICB, STD GRATE

RIM = 7.98 (RAISED RIM)

IE 12" PVC IN, N,S,E = 3.36

IE 6" PVC IN, NW = 5.21

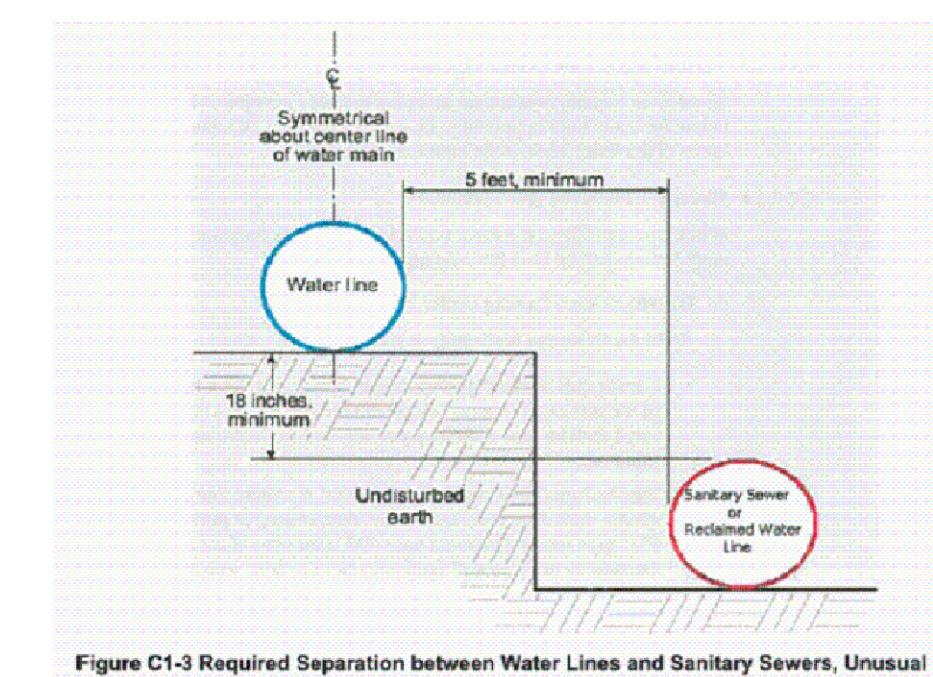
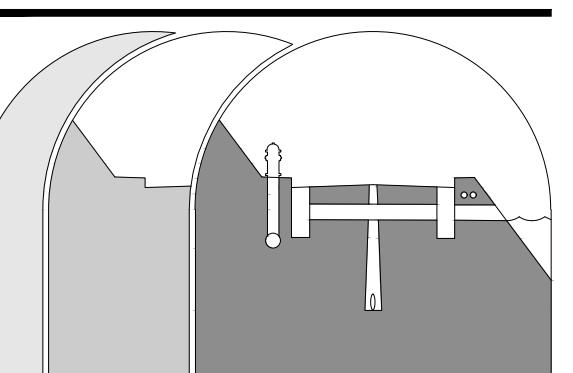
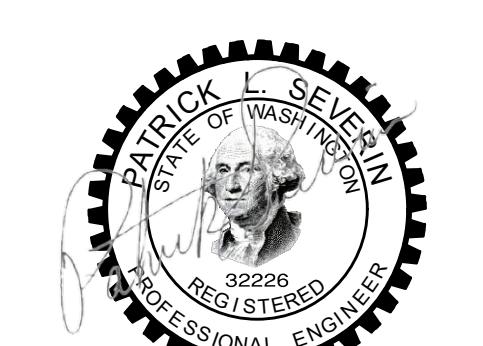


Figure C1.3 Required Separation between Water Lines and Sanitary Sewers, Unusual Conditions Parallel Construction

DOE MINIMUM SEPARATIONS
NOT TO SCALE
A
2.1

SCALE: 1" = 20'
DRAWN BY: C.SEVERIN
DESIGNED BY: P.SEVERIN
DATE: 08.30.2023
JOB NUMBER: 21098
DWG NAME: 21098PLN.DWG
SHEET NUMBER:

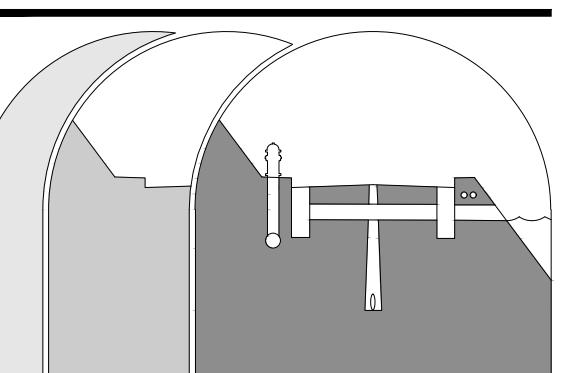
C2.1



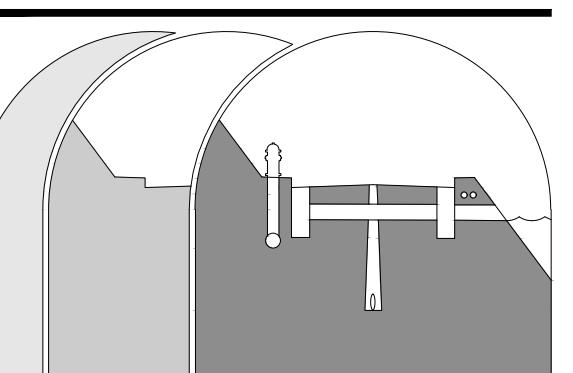
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Mount Vernon, WA 98273 Tel: 360-404-2010
SHEET REVISIONS:
NO DATE DESCRIPTION APPROVED
1 9.22.23 ARCHITECT REVISION P.L.S.

PROJECT: CENTER STREET MIXED-USE FOR KSA INVESTMENTS, LLC

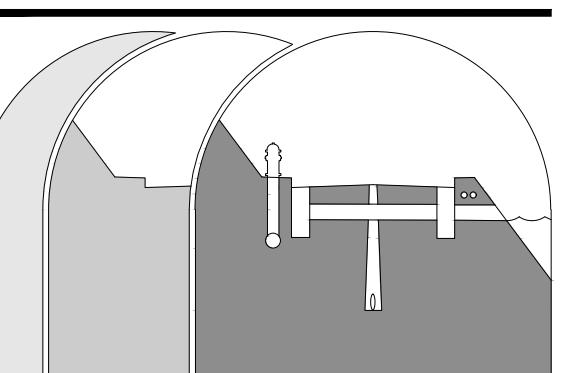
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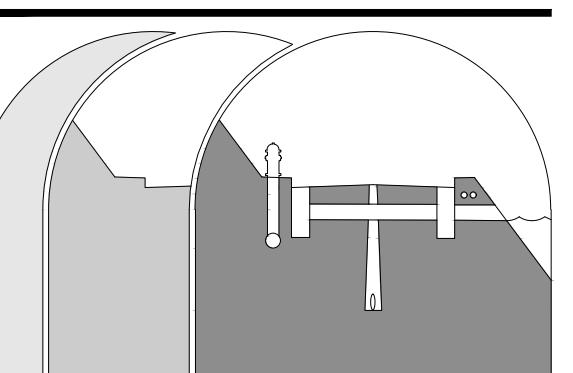
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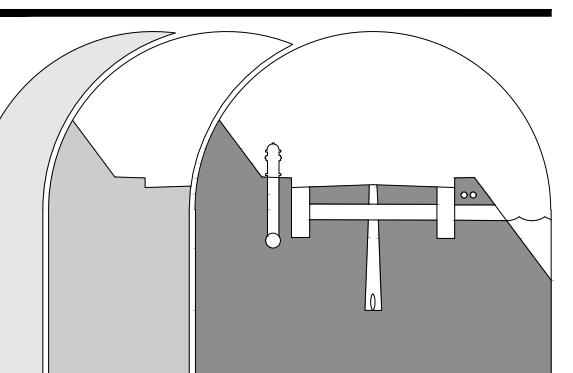
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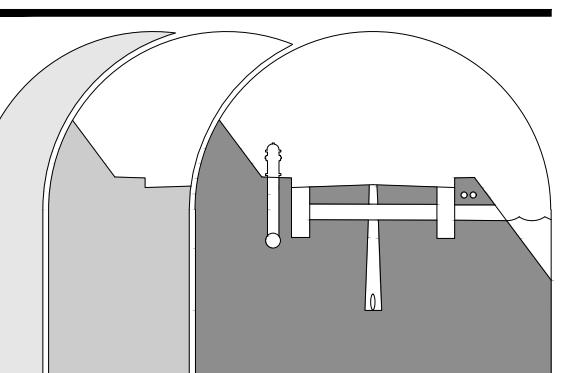
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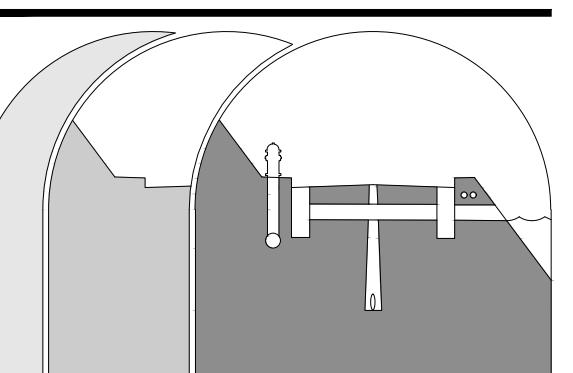
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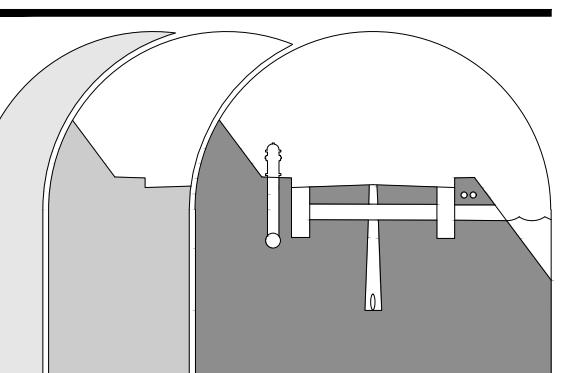
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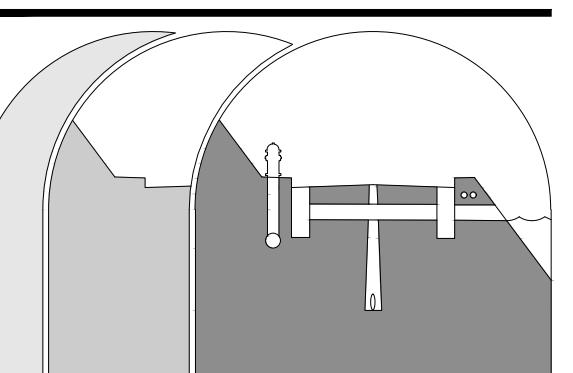
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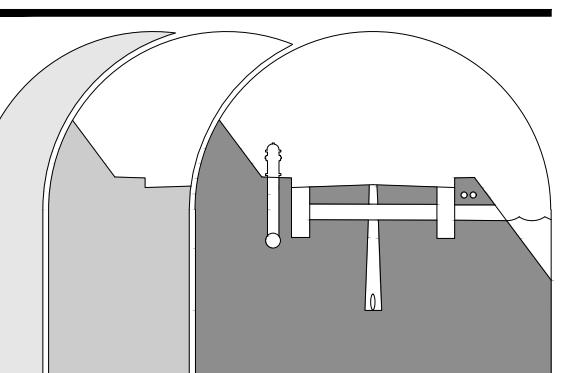
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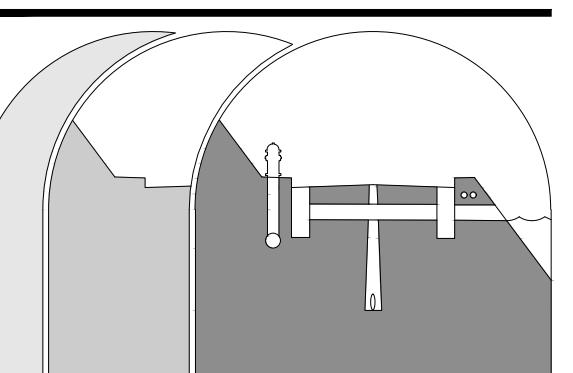
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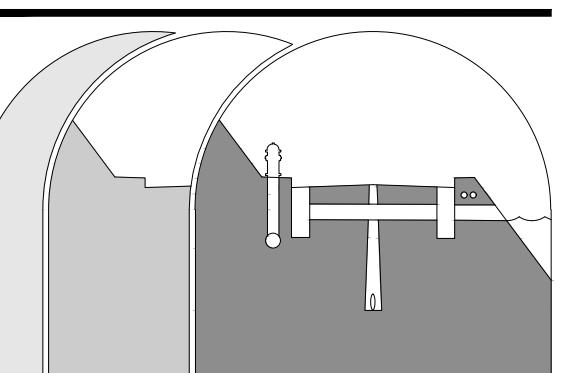
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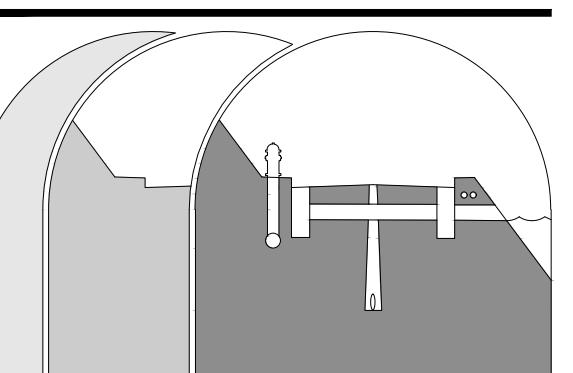
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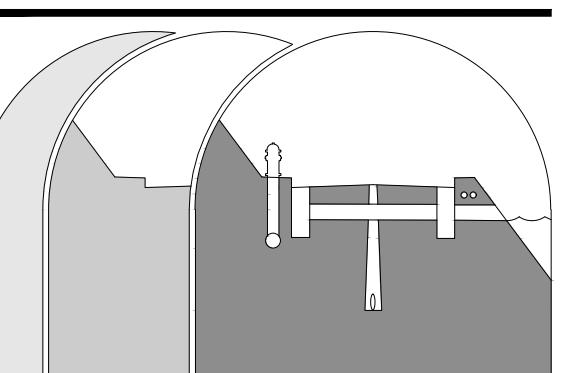
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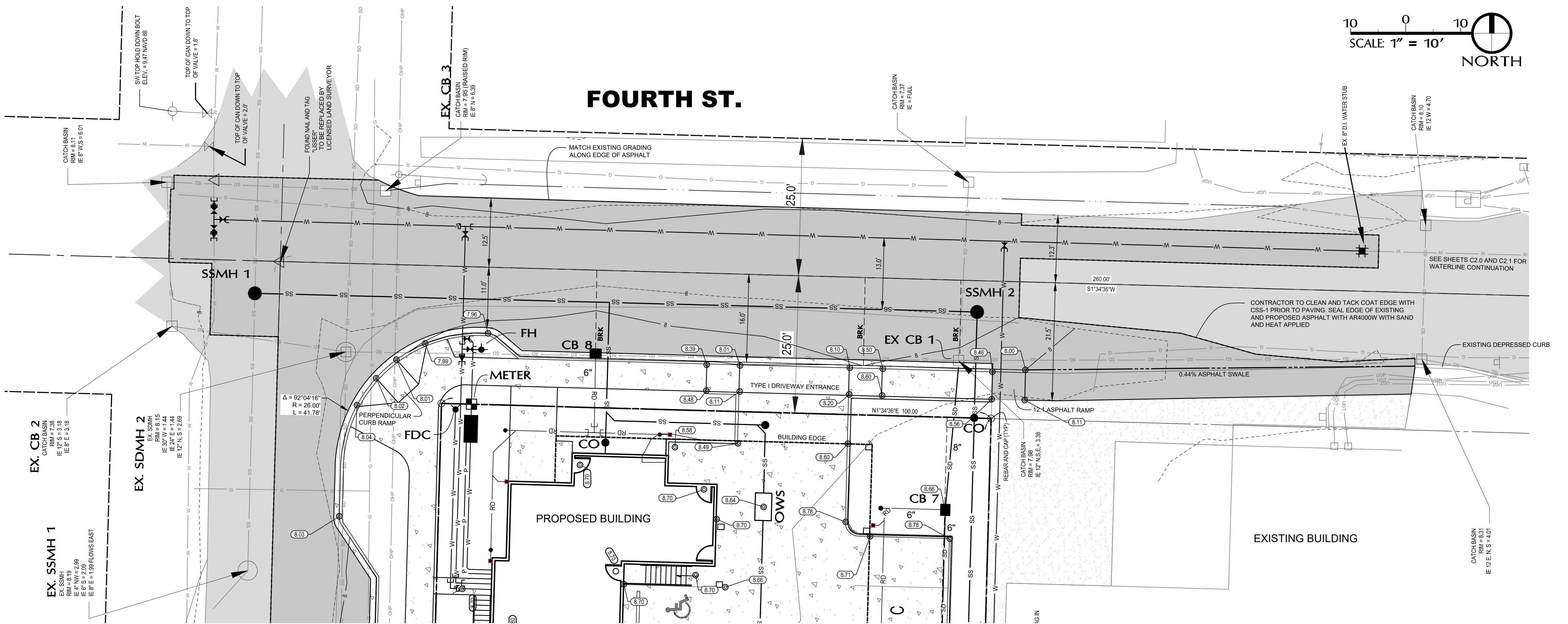


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1 9.22

FOURTH ST

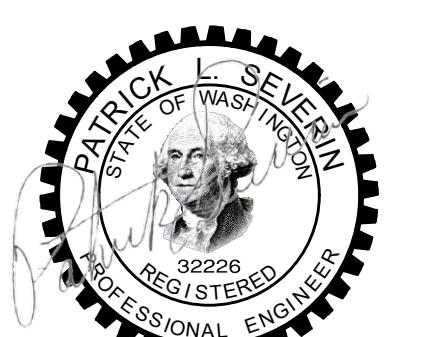


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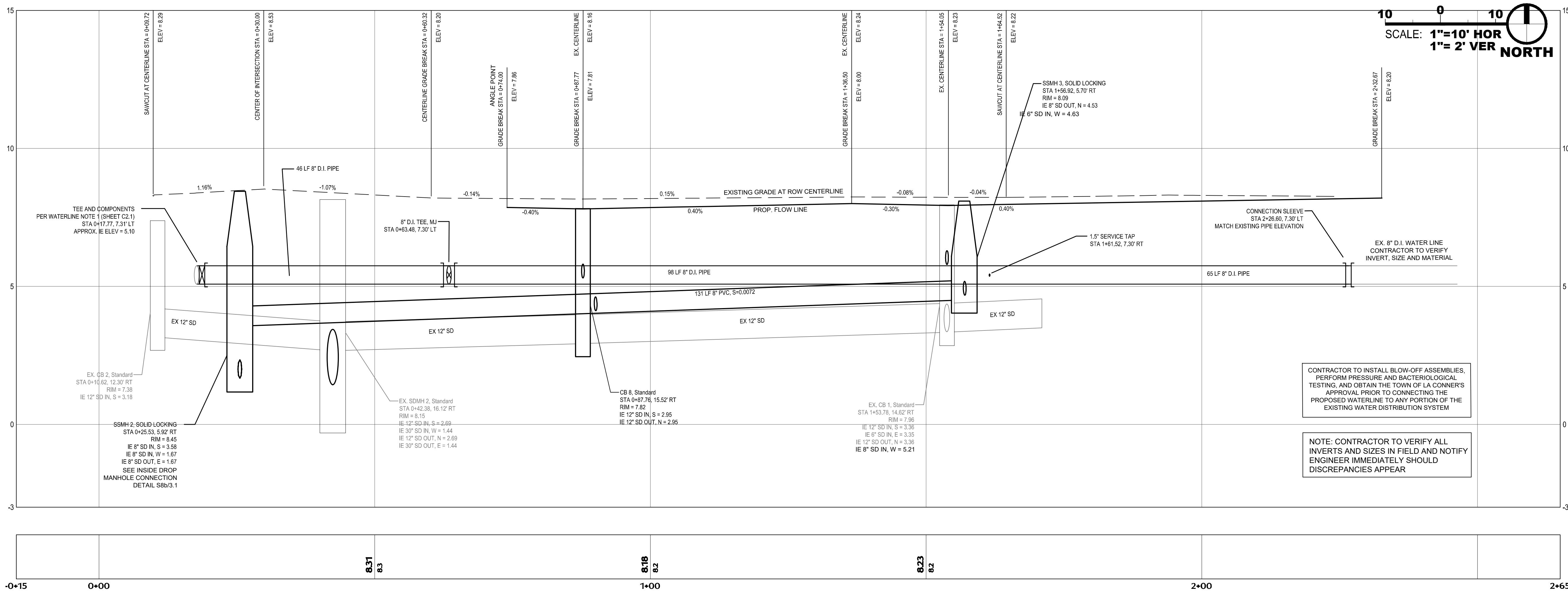
PROJECT: **CENTER STREET
MIXED-USE** FOR **KSA INVESTMENTS, LLC**

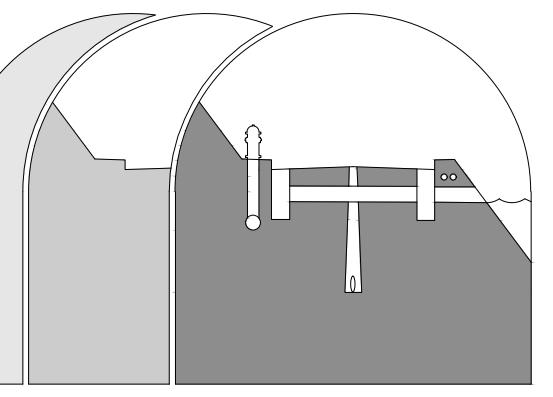
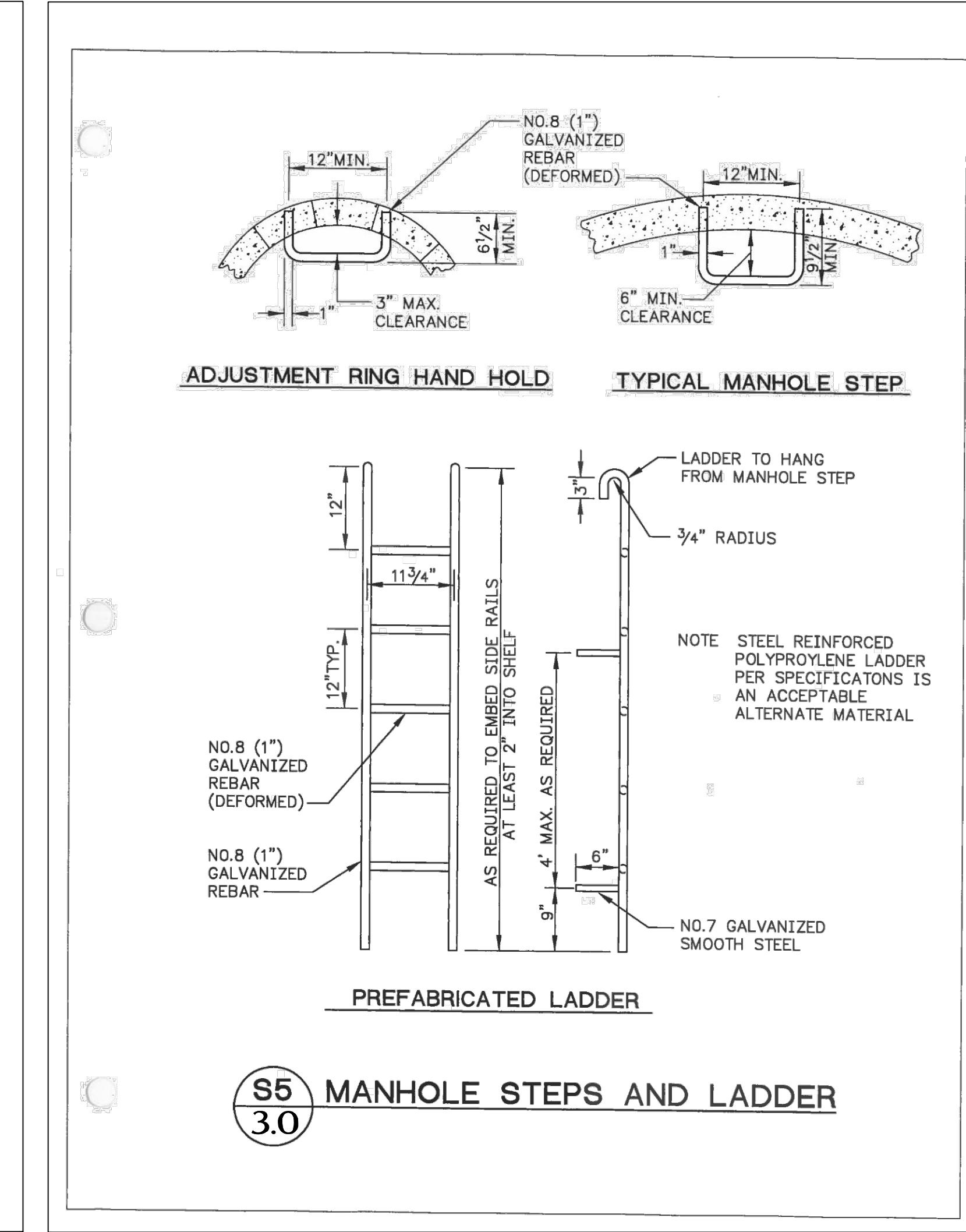
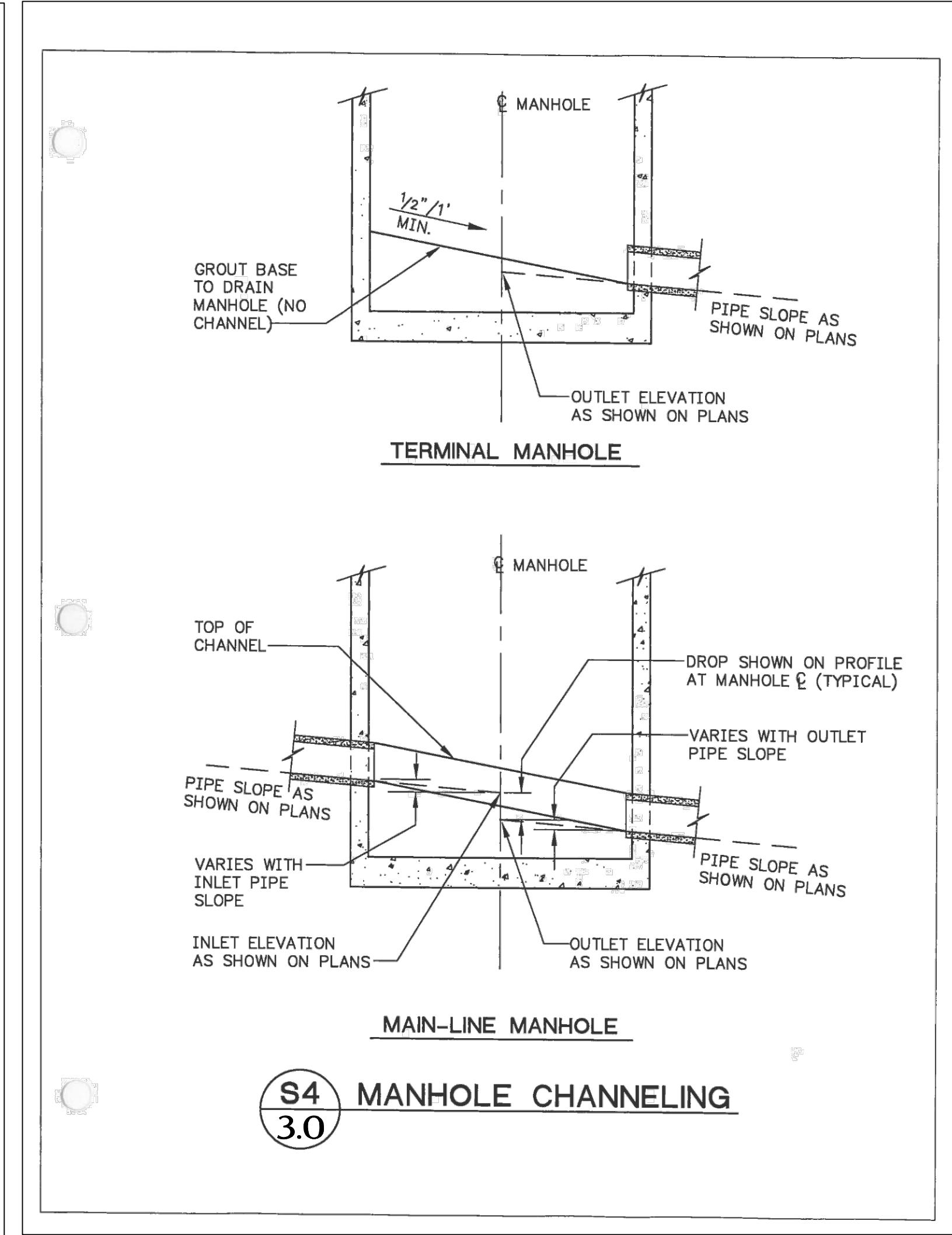
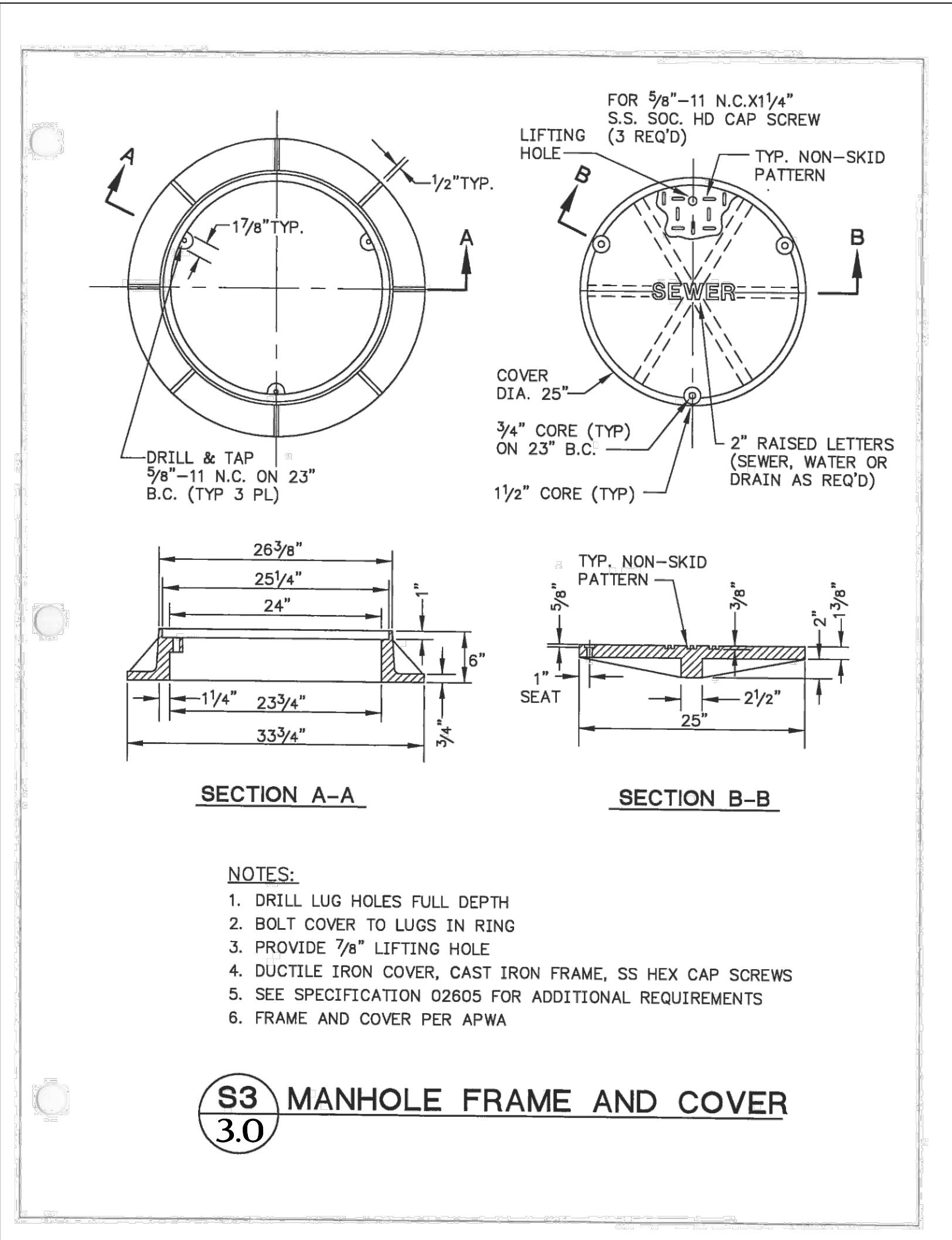
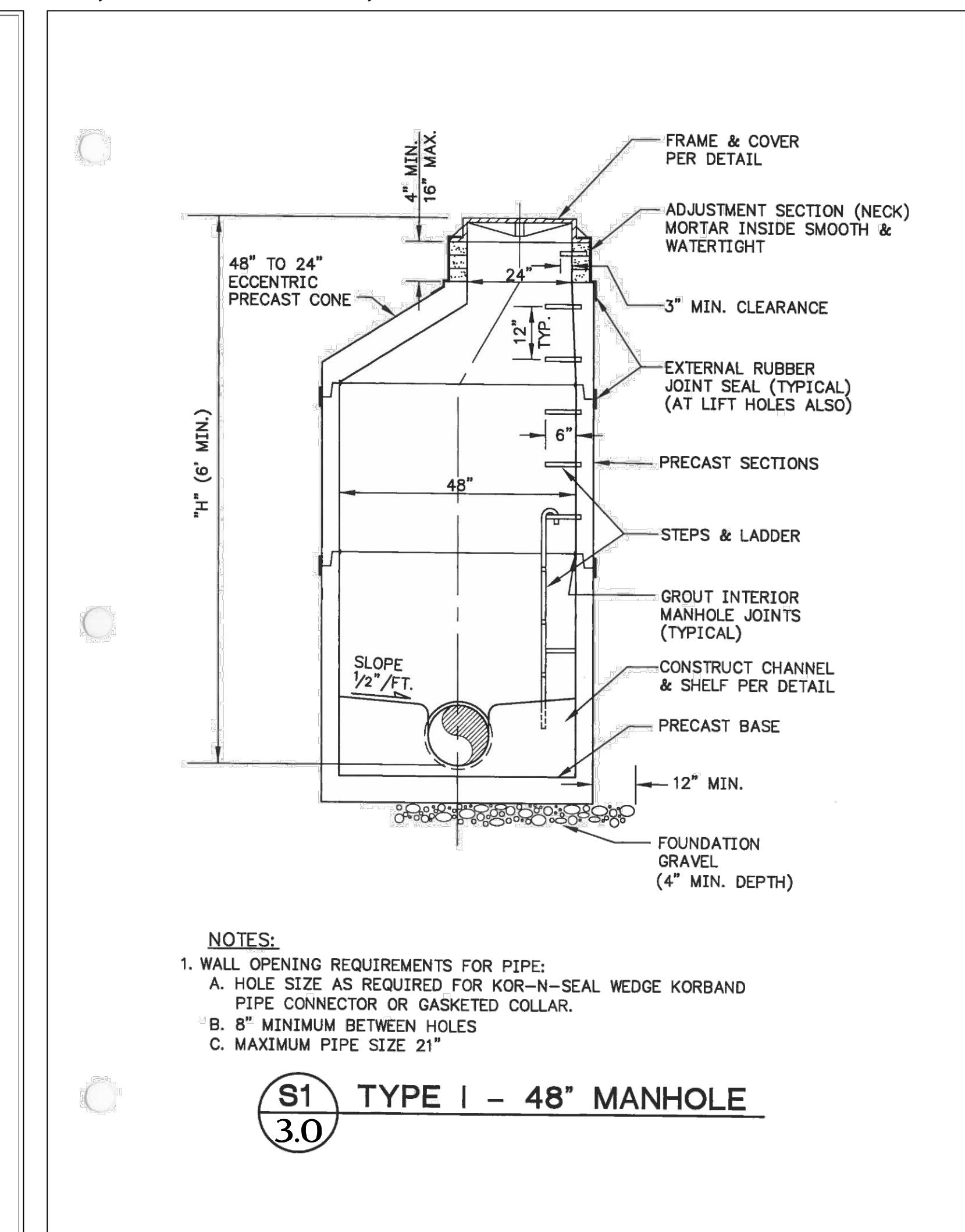
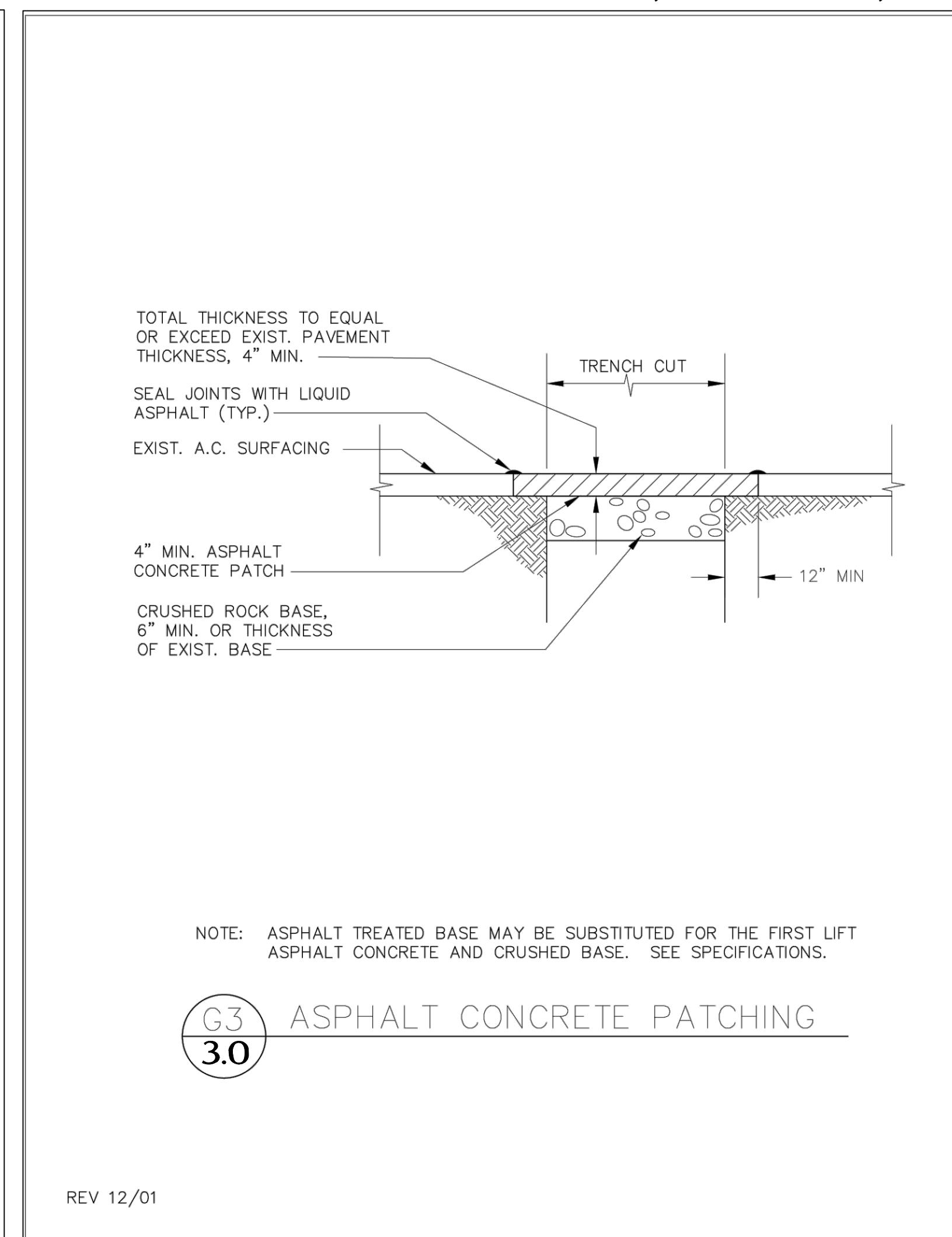
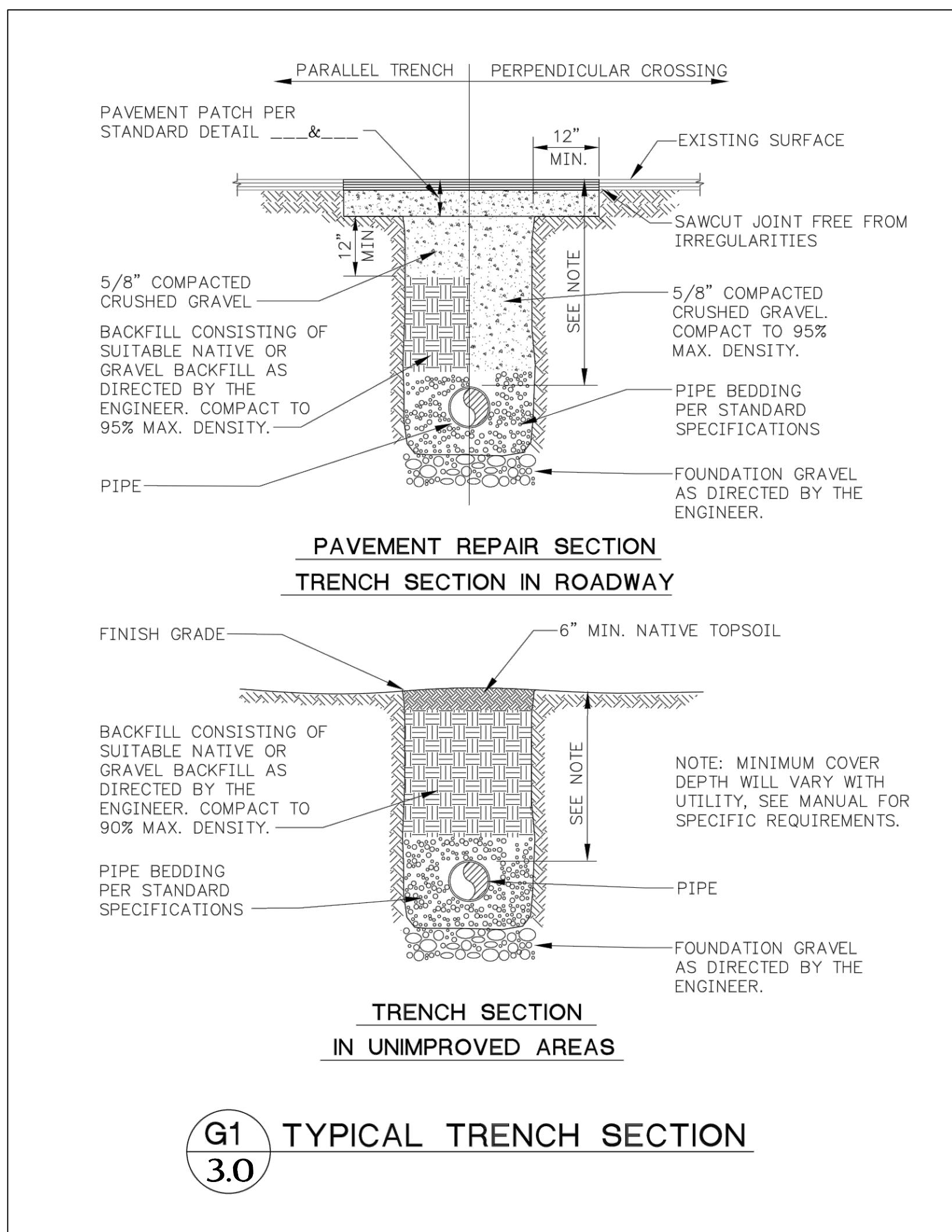
SHEET DESCRIPTION:

FOURTH STREET
ROADWAY IMPROVEMENTS
PLAN & PROFILE



| | |
|---------------|---------------------|
| SCALE: | AS NOTED |
| DRAWN BY: | C.SEVERIN |
| DESIGNED BY: | P.SEVERIN |
| DATE: | 08.30.2023 |
| JOB NUMBER: | 21098 |
| DWG NAME: | 21098PLN.DWG |
| SHEET NUMBER: | 2 |





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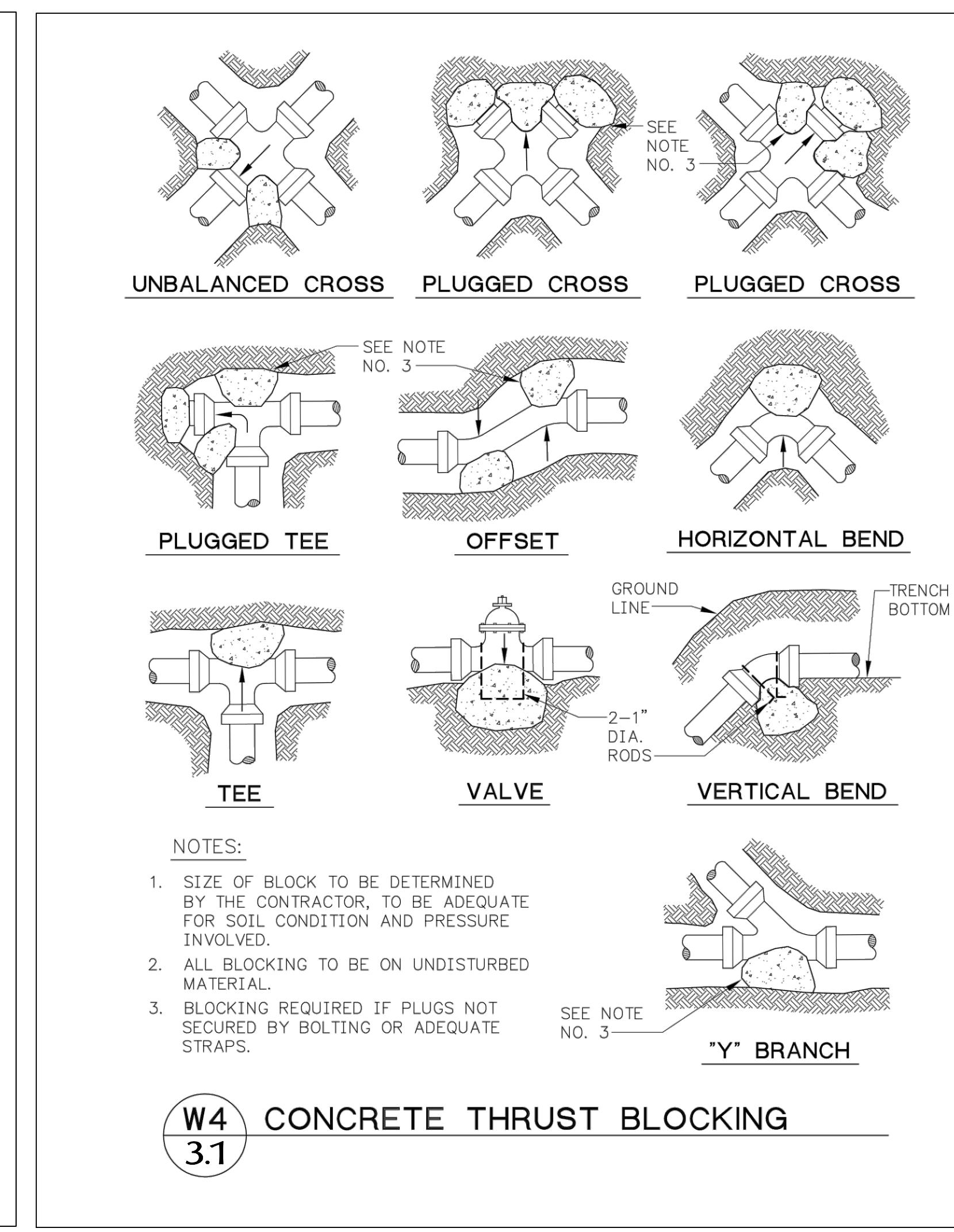
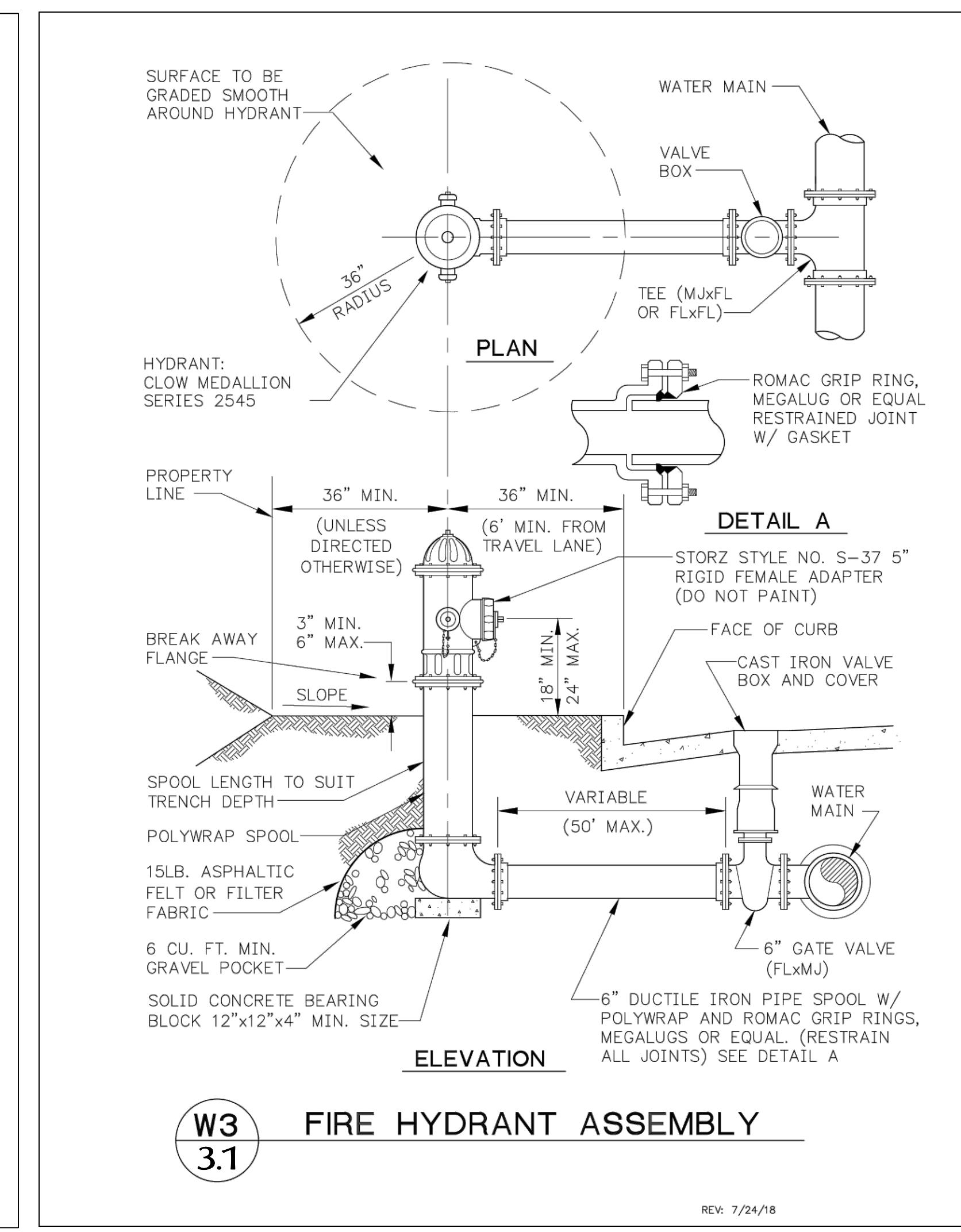
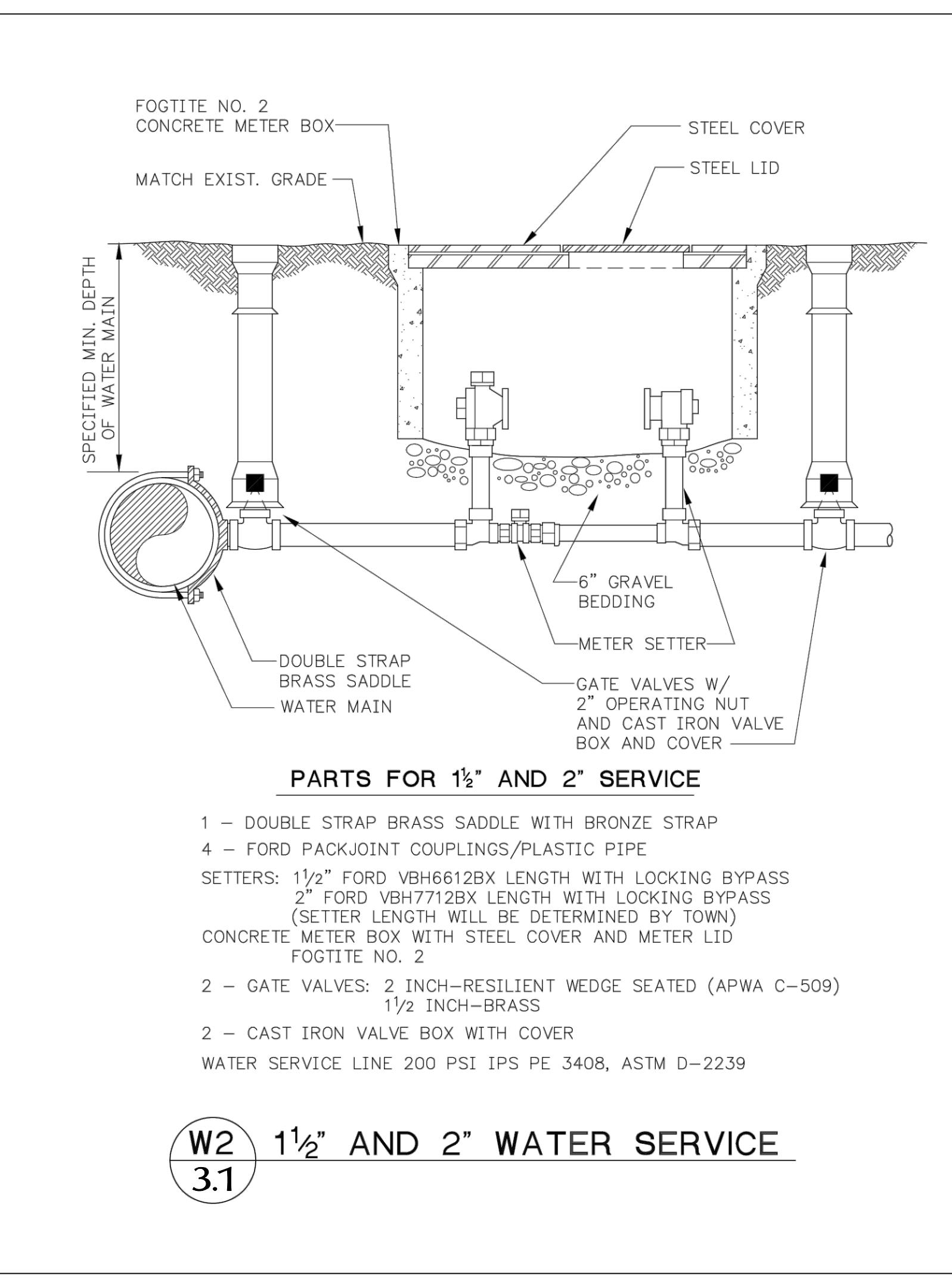
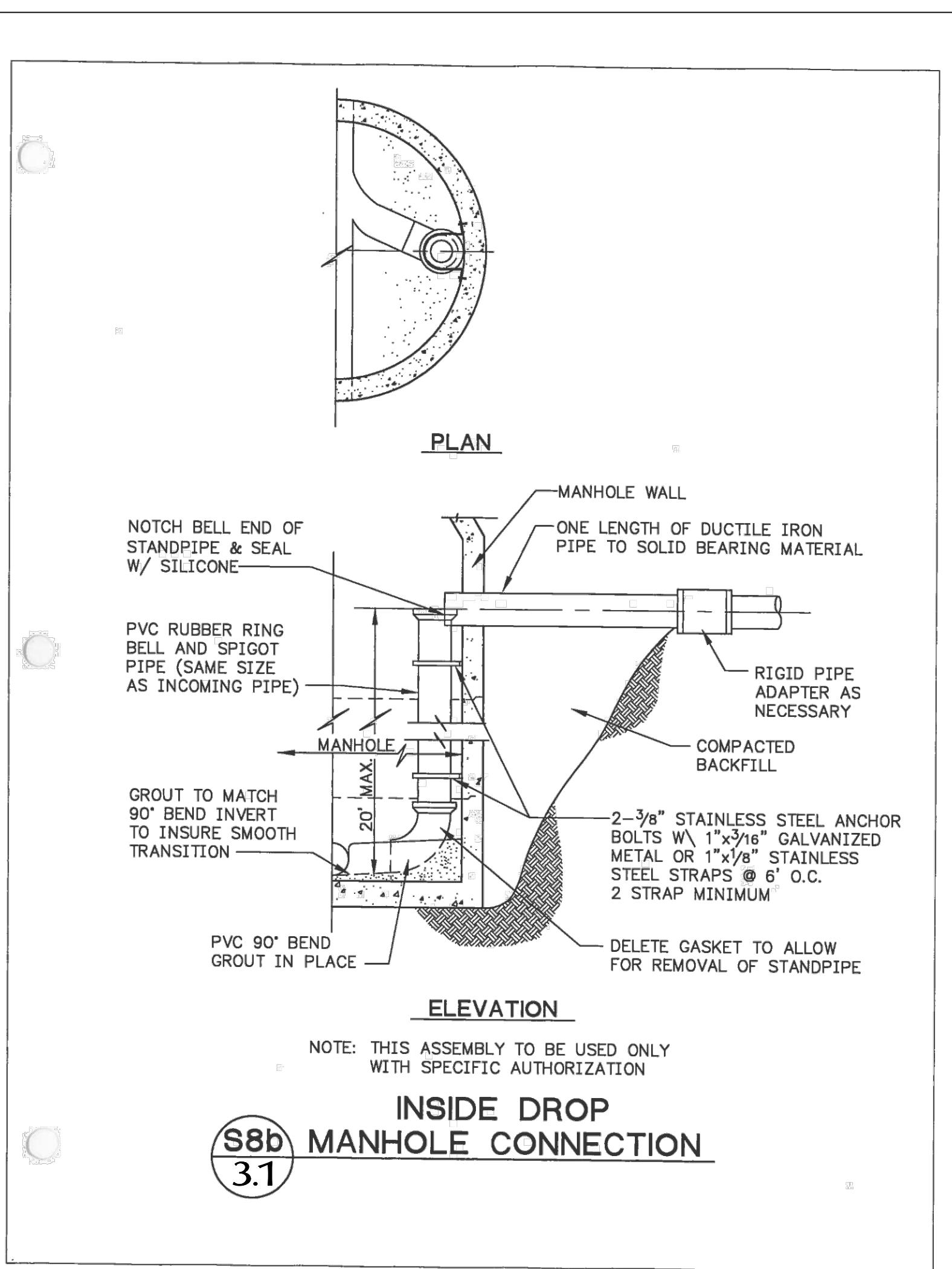
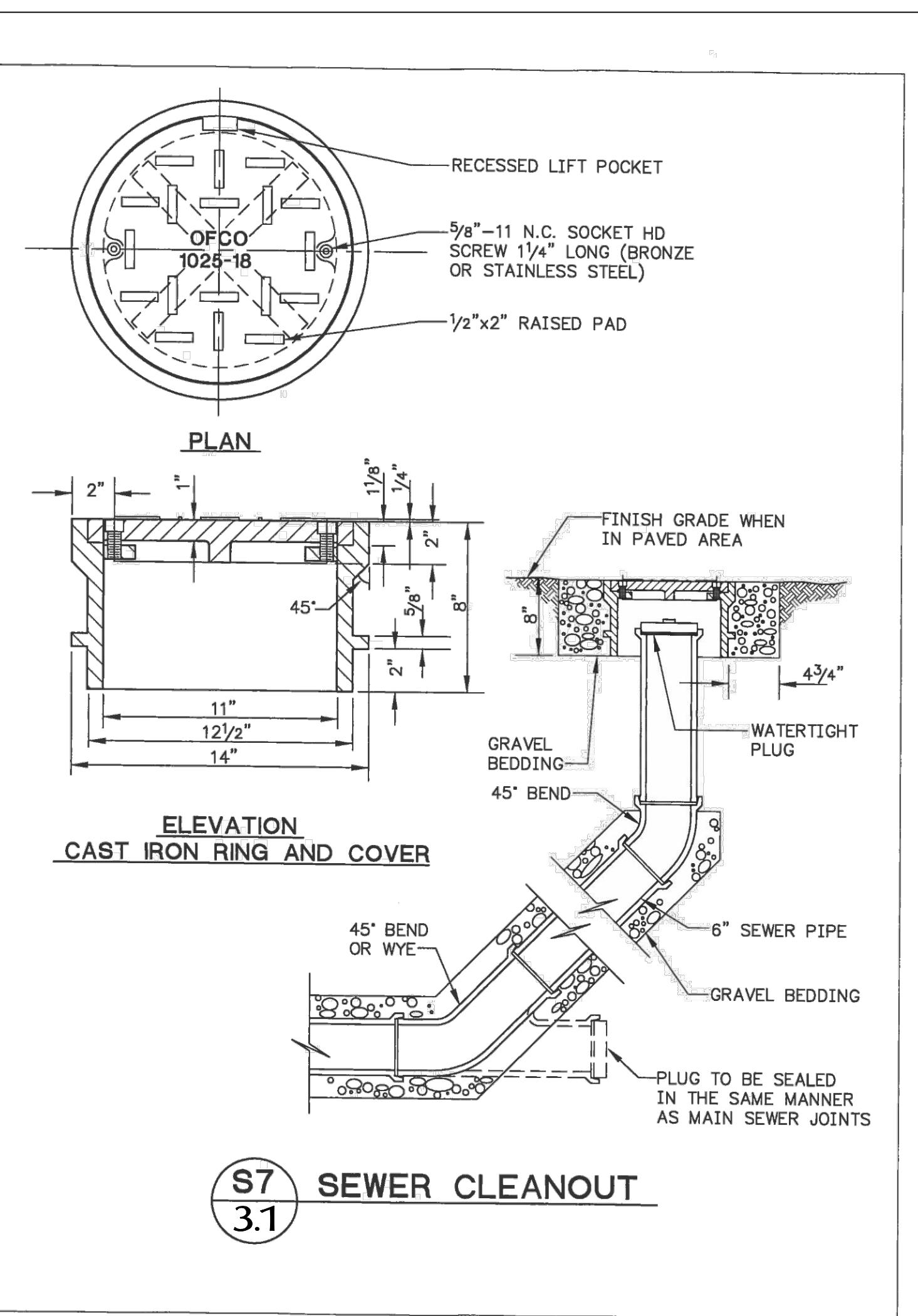
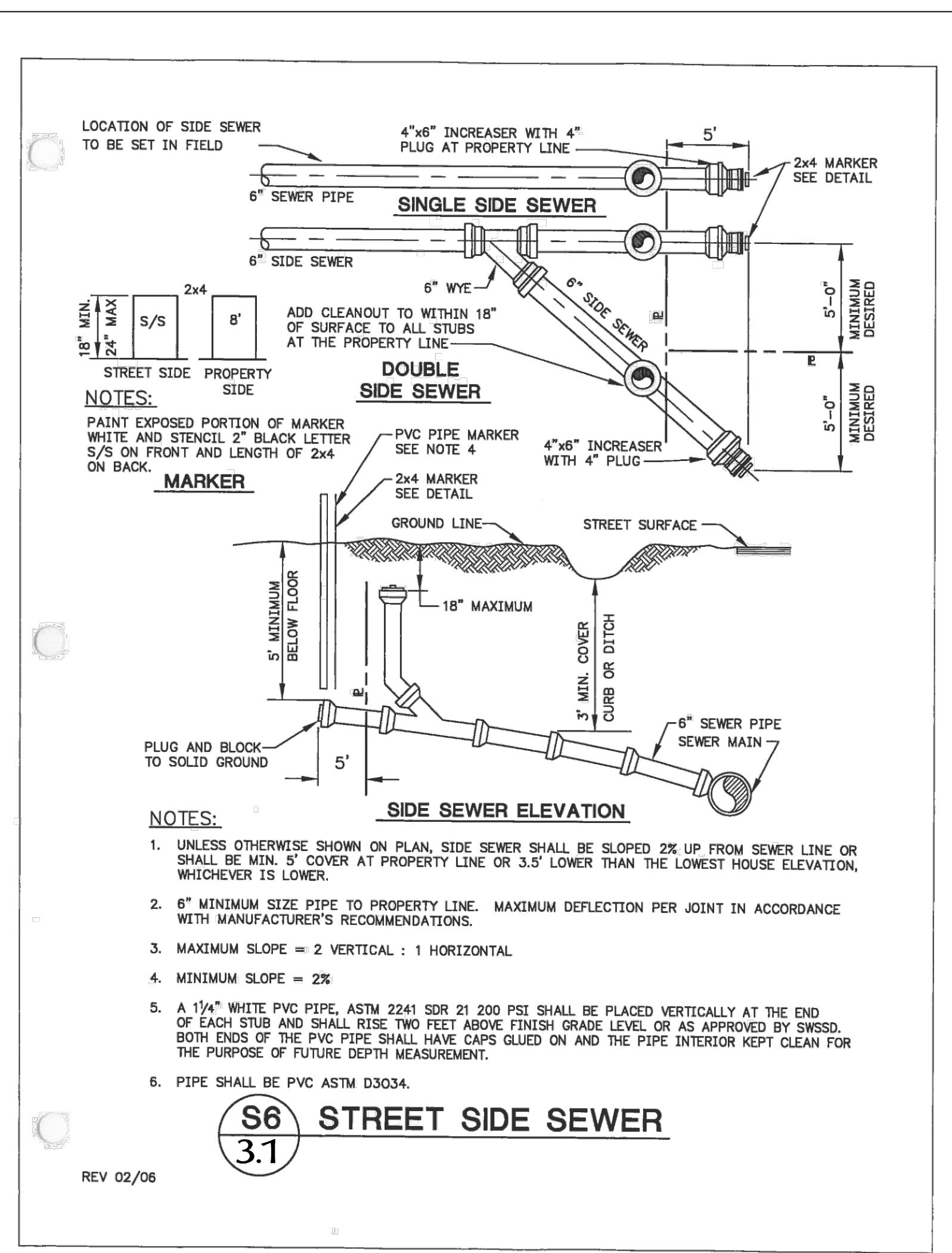
**CENTER STREET
MIXED-USE**
FOR
KSA INVESTMENTS, LLC

SITE & SEWER DETAILS
SHEET DESCRIPTION:



SCALE: **AS NOTED**
DRAWN BY: **C.SEVERIN**
DESIGNED BY: **P.SEVERIN**
DATE: **08.30.2023**
JOB NUMBER: **21098**
DWG NAME: **21098PLN.DWG**
SHEET NUMBER:

C3.0

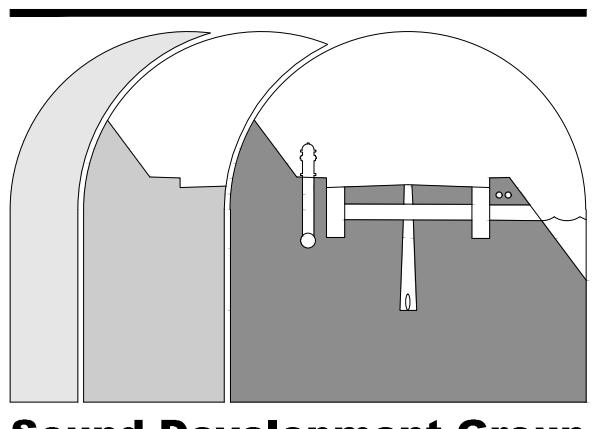


SCALE: **AS NOTED**
DRAWN BY: **C.SEVERIN**
DESIGNED BY: **P.SEVERIN**
DATE: **08.30.2023**
JOB NUMBER: **21098**
DWG NAME: **21098PLN.DWG**
SHEET NUMBER:

C3.1

PROJECT:

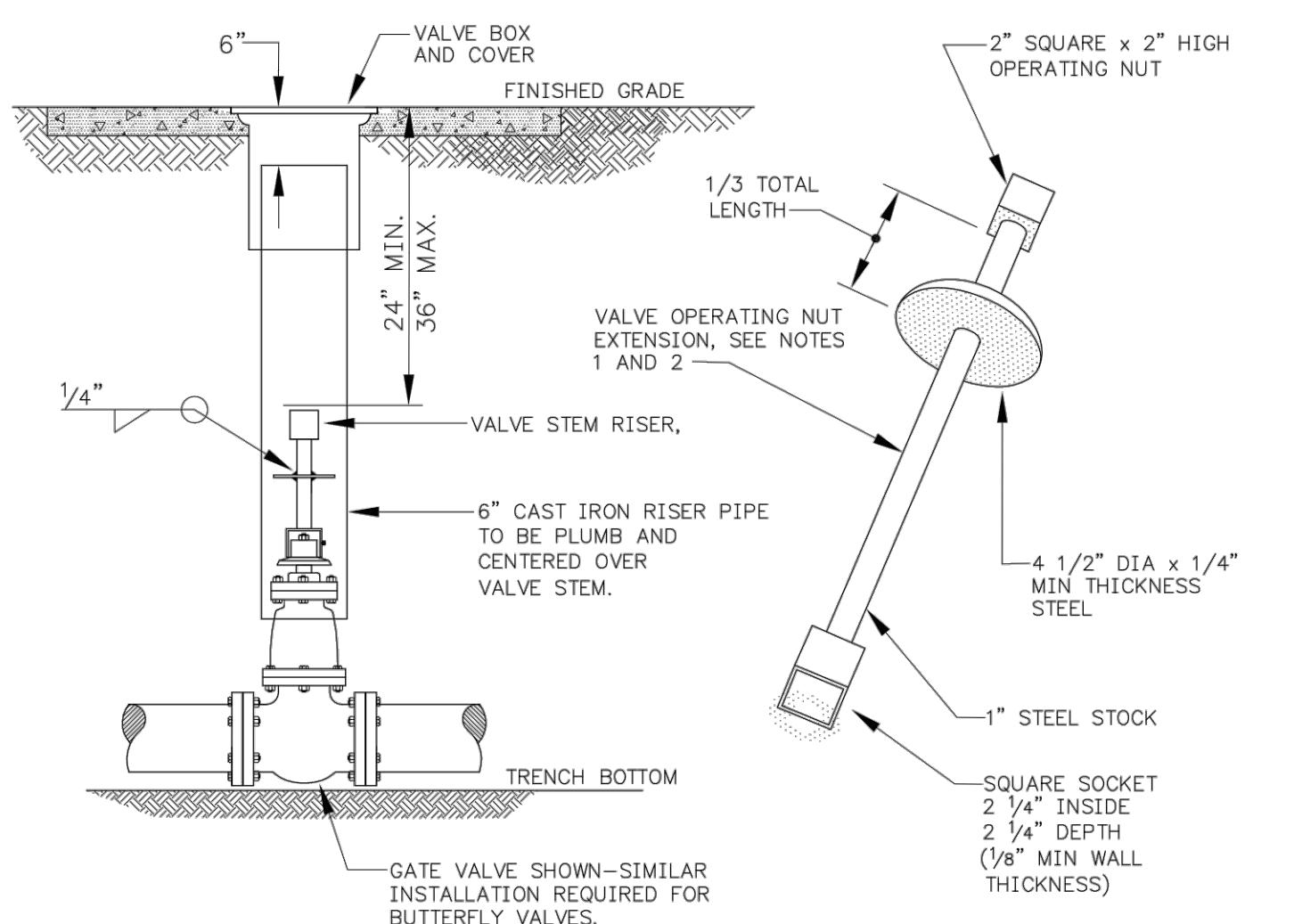
CENTER STREET MIXED-USE FOR KSA INVESTMENTS, LLC



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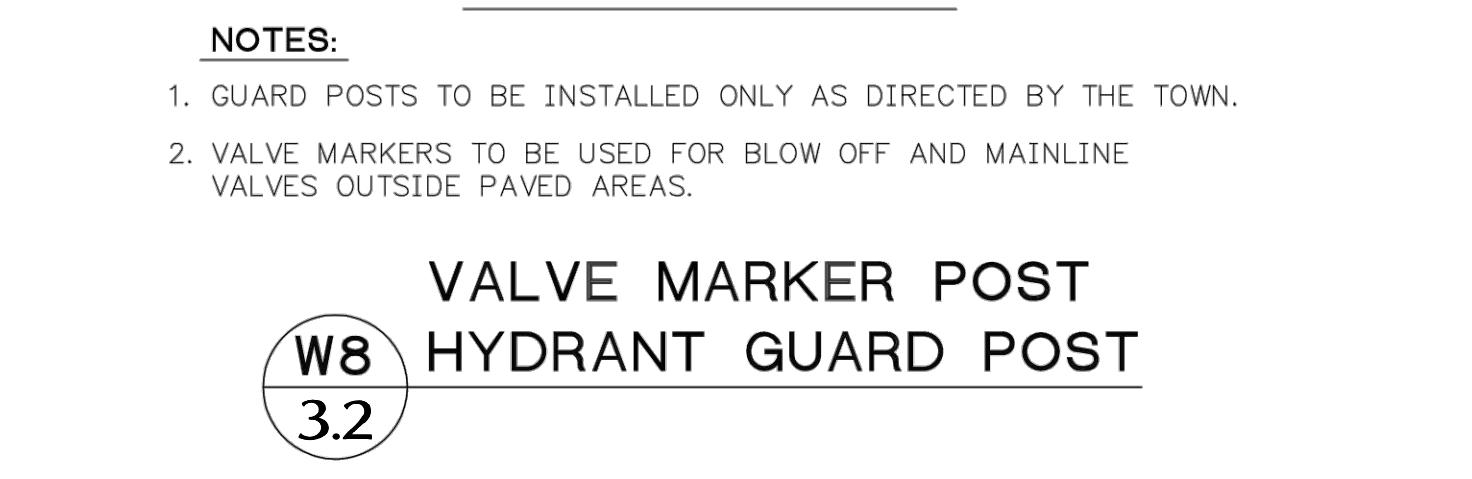
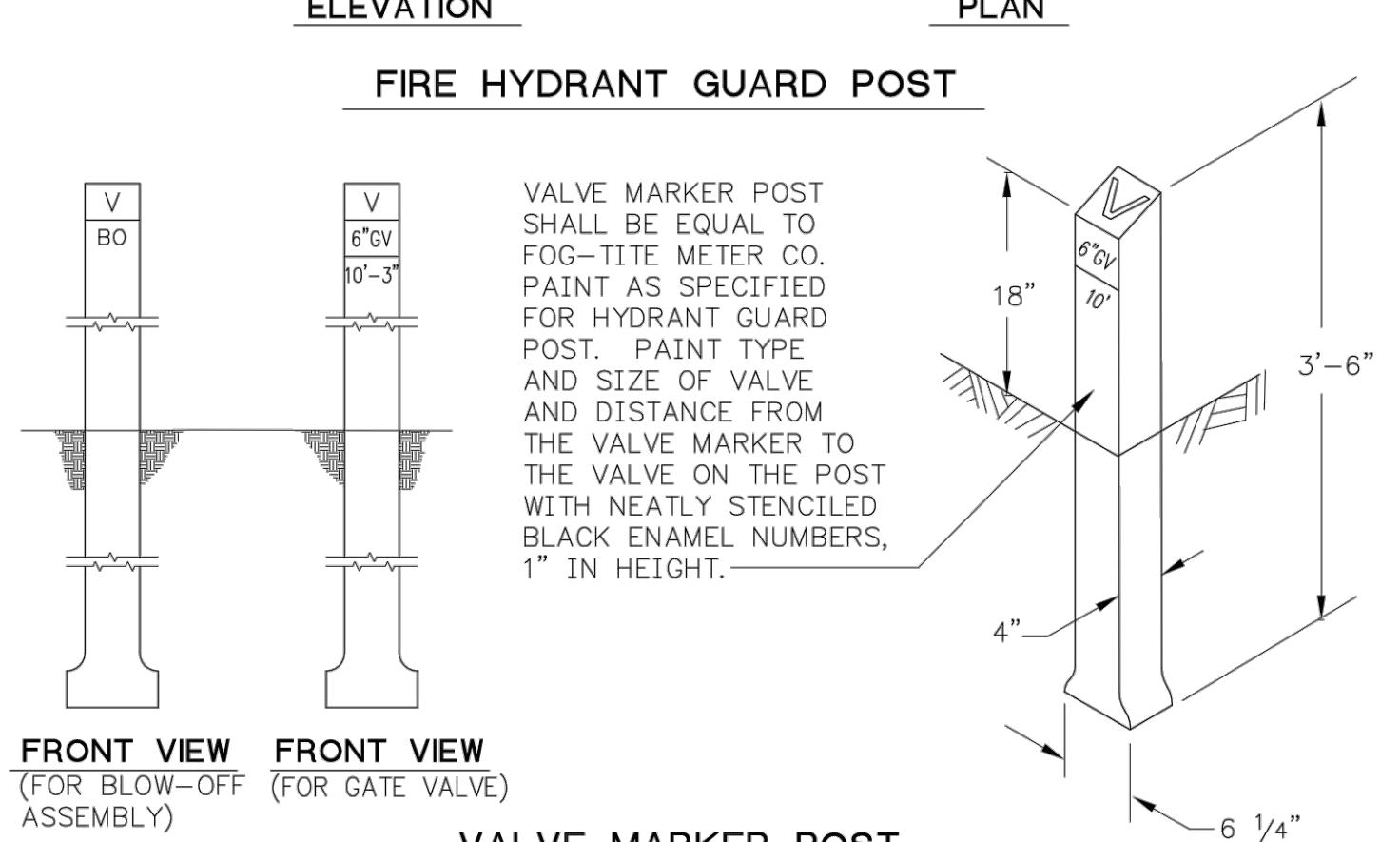
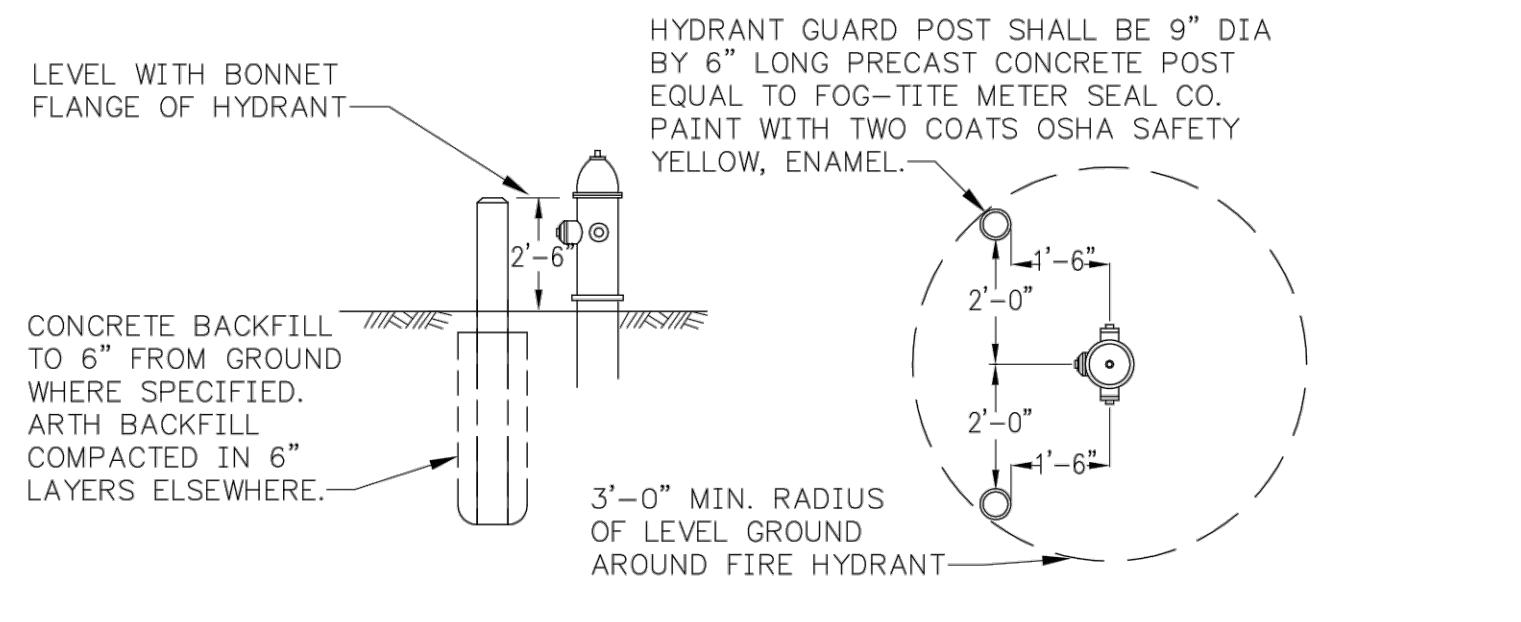
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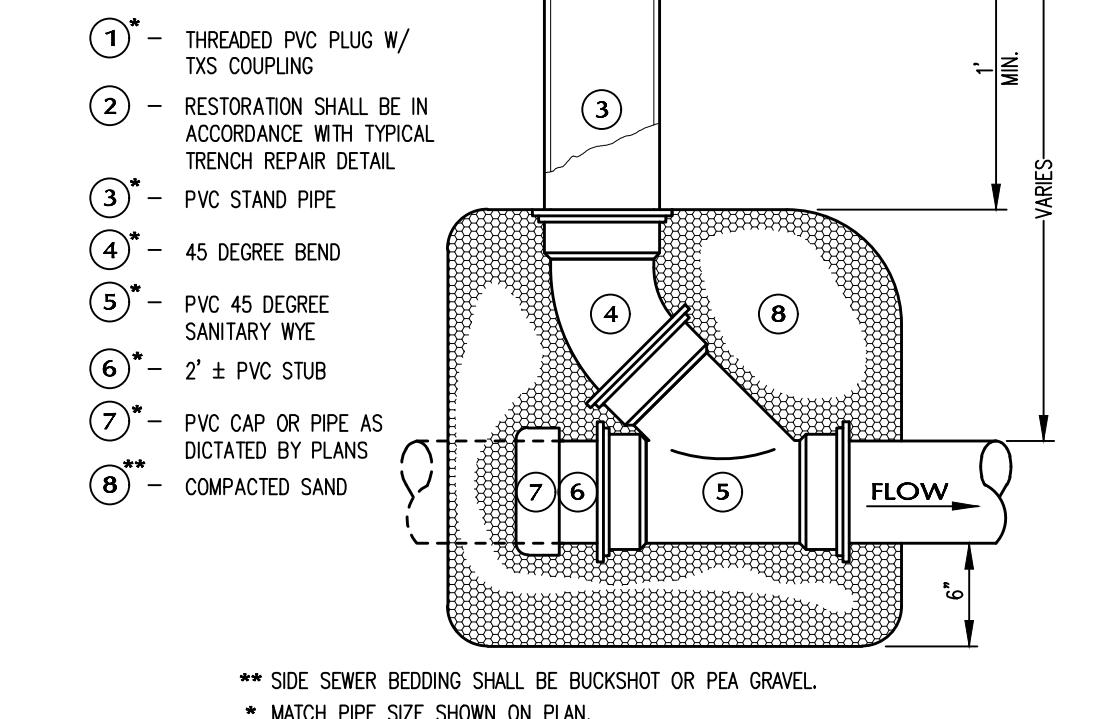
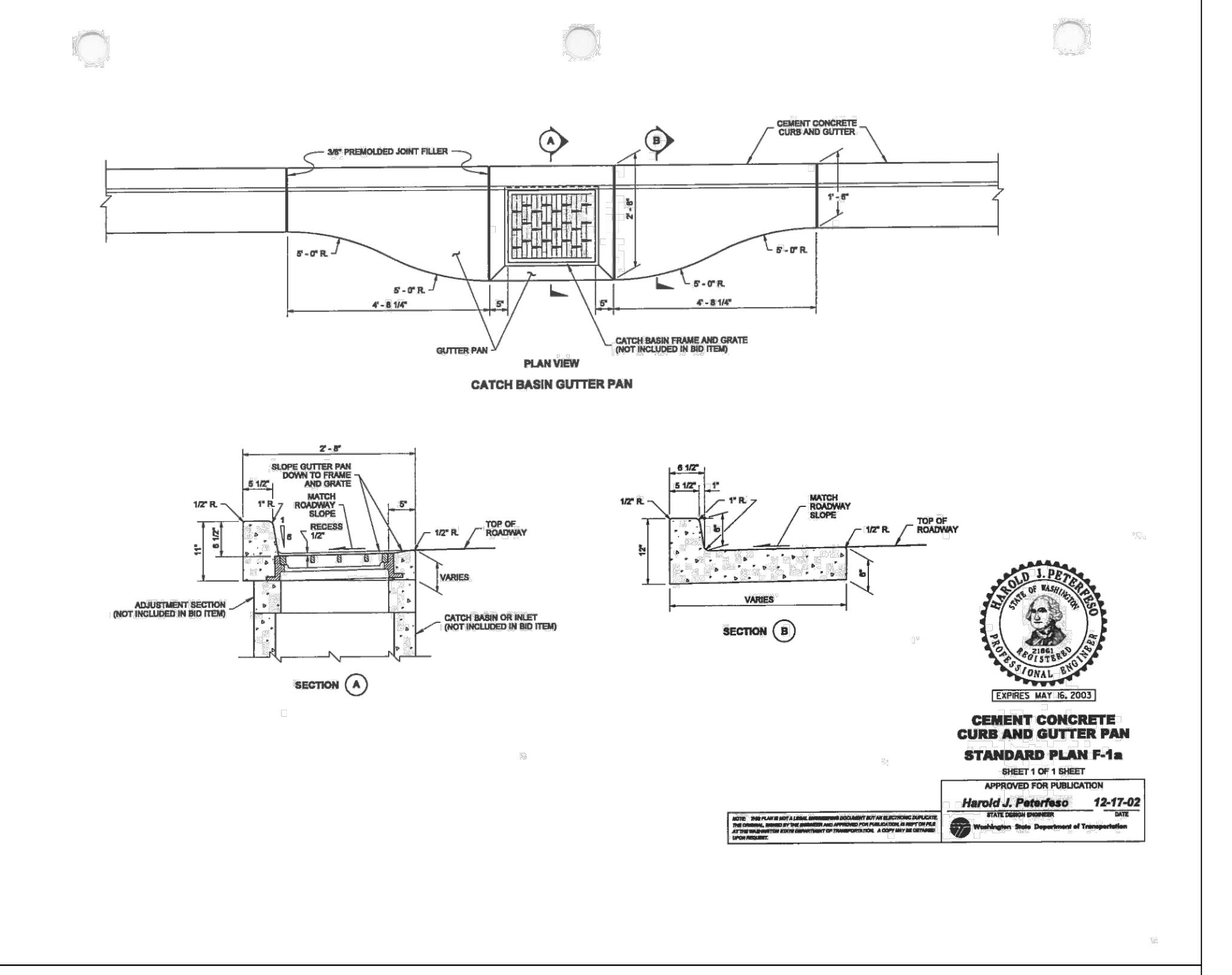
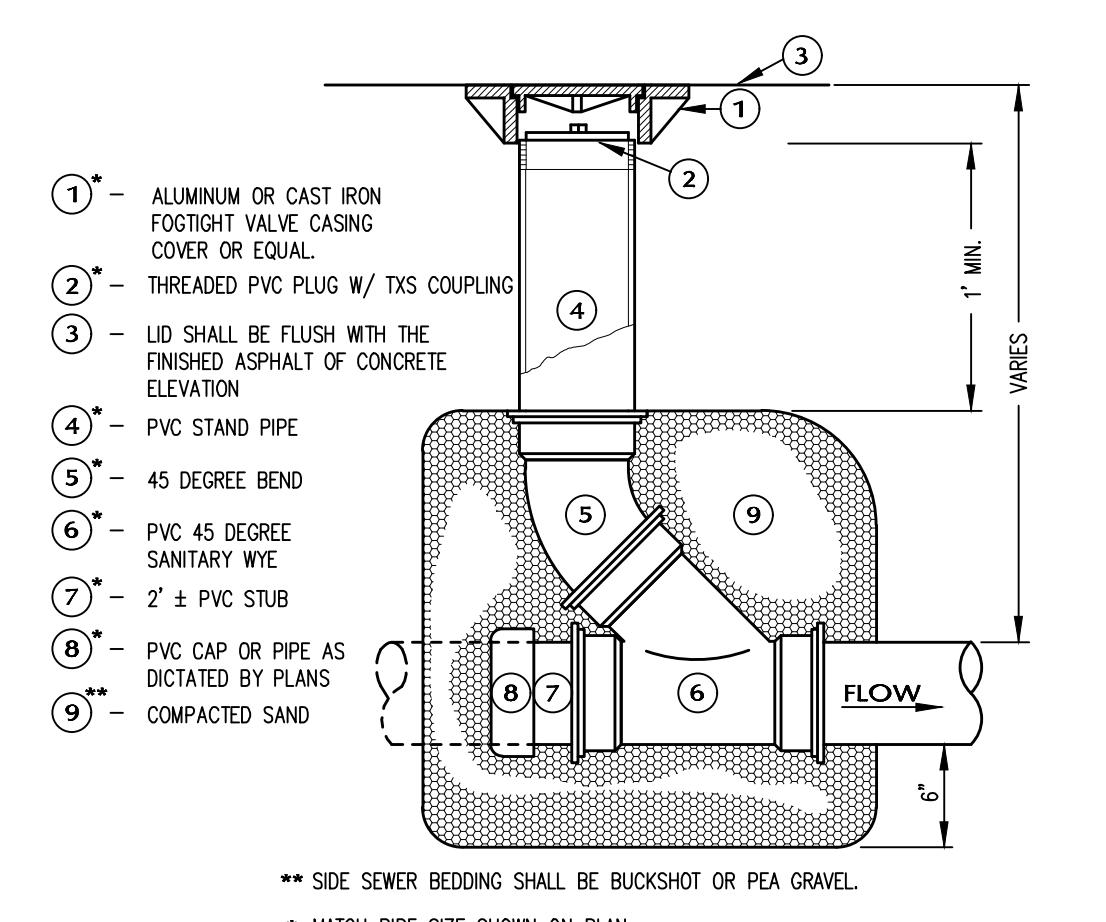
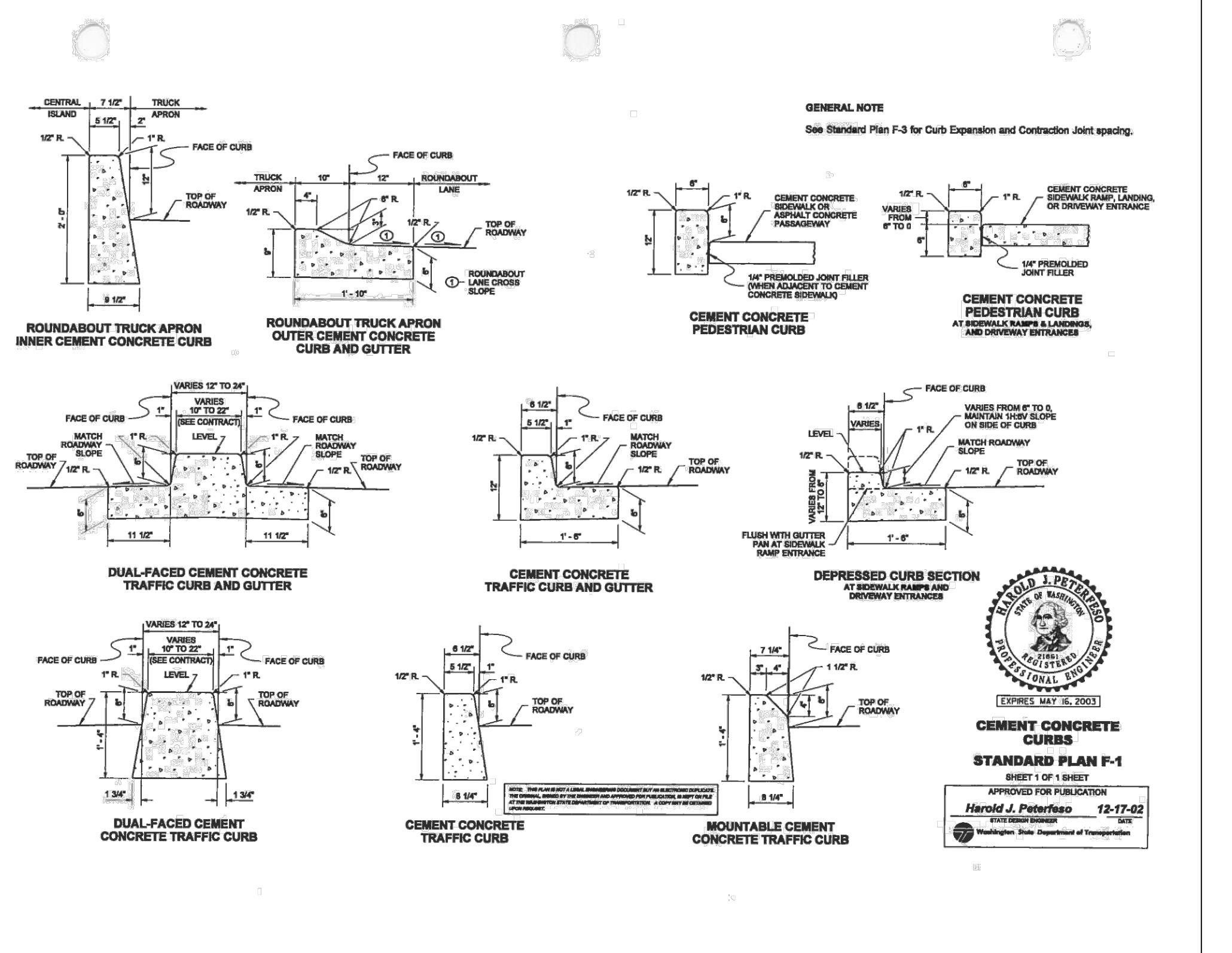
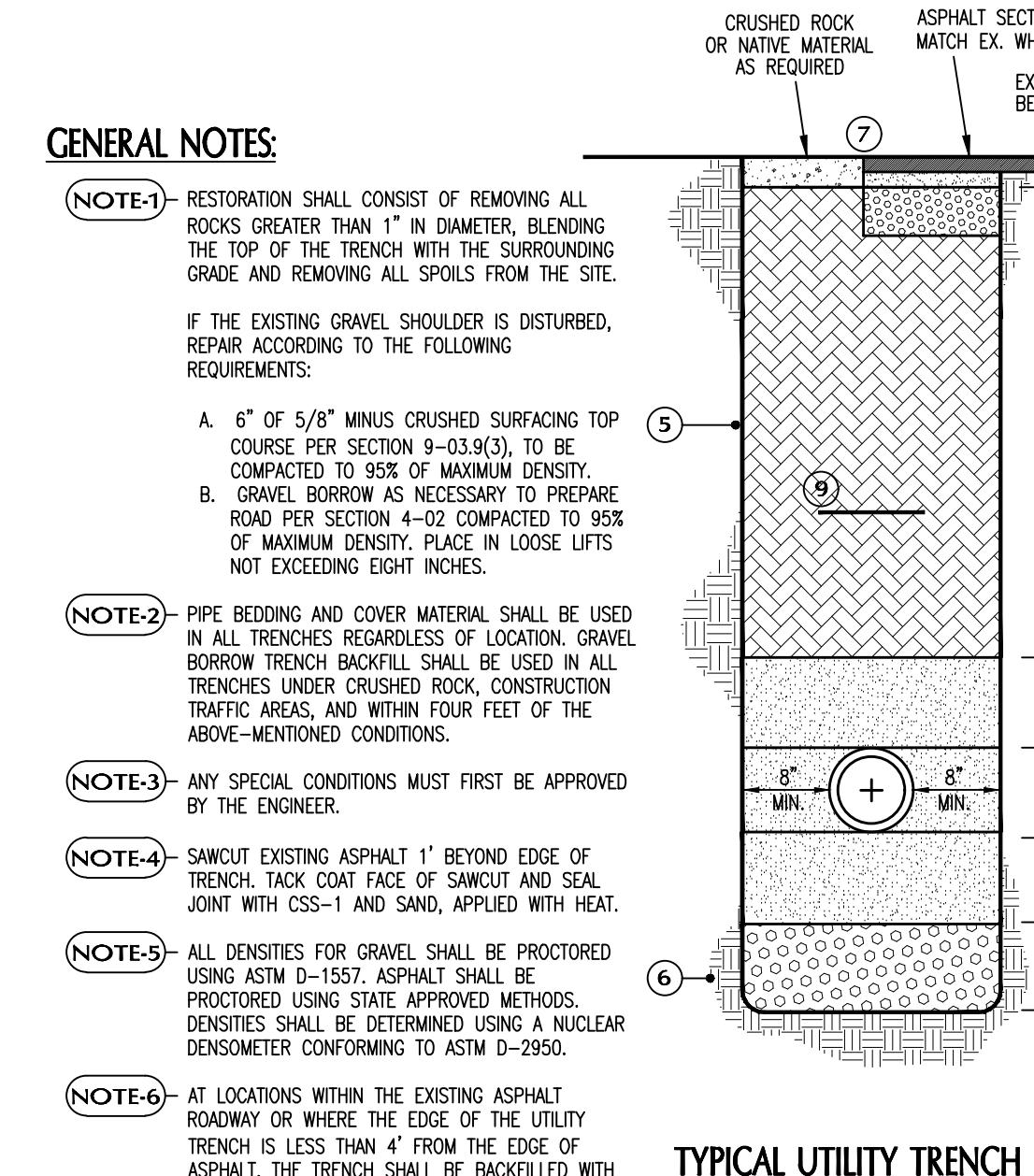
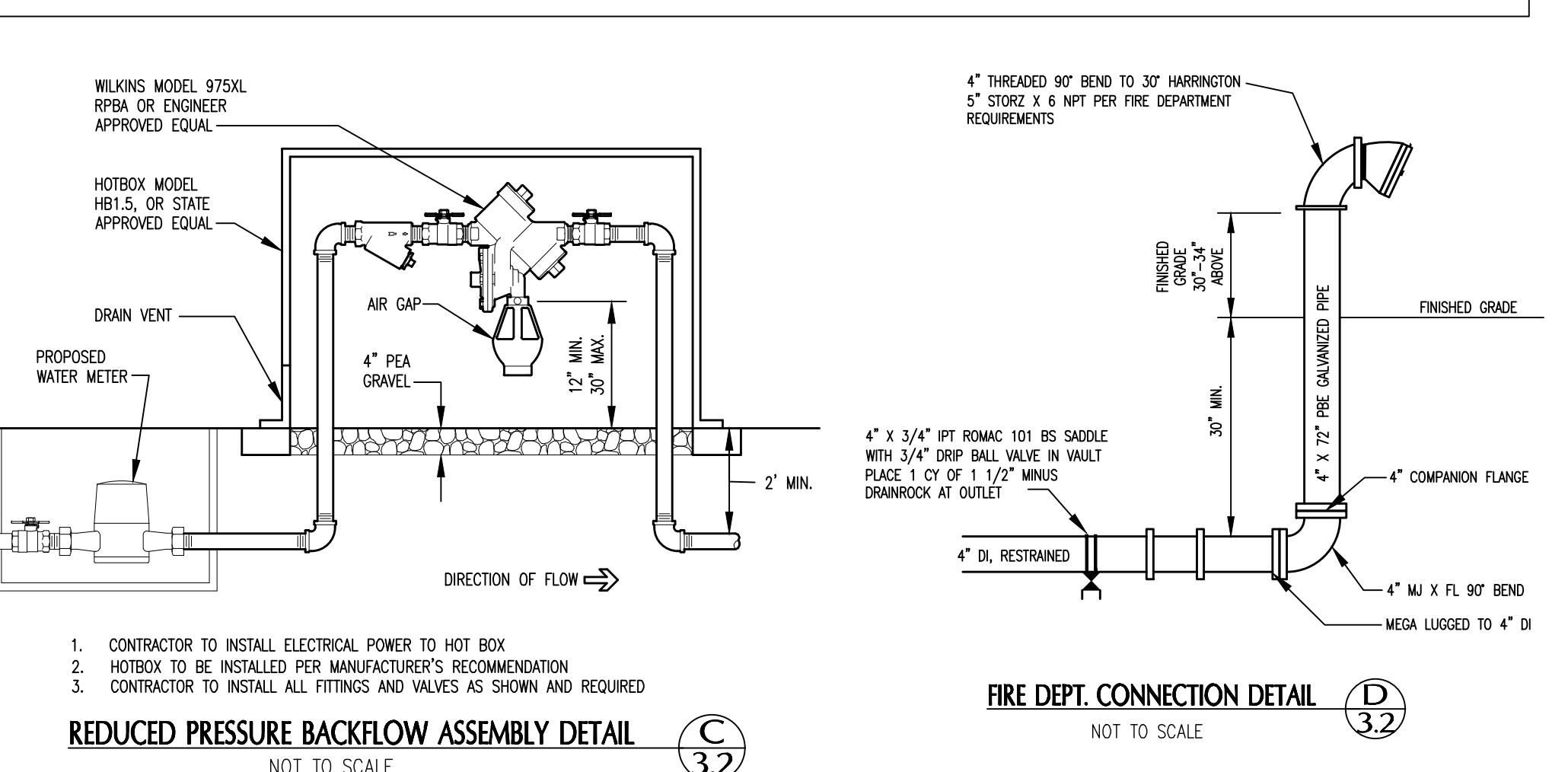
NOTES:

1. VALVE OPERATING NUT EXTENSIONS ARE REQUIRED WHEN THE VALVE NUT IS MORE THAN THREE (3) FEET BELOW FINISHED GRADE. EXTENSIONS ARE TO BE A MINIMUM OF ONE (1) FOOT LONG. ONLY ONE EXTENSION WILL BE ALLOWED PER VALVE.
2. ALL VALVE OPERATING NUT EXTENSIONS ARE TO BE MADE OF STEEL, SIZED AS NOTED, AND PAINTED WITH TWO (2) COATS OF METAL PAINT.

W6 VALVE OPERATING NUT EXTENSION
3.2


NOTES:

1. GUARD POSTS TO BE INSTALLED ONLY AS DIRECTED BY THE TOWN.
2. VALVE MARKERS TO BE USED FOR BLOW OFF AND MAINLINE VALVES OUTSIDE PAVED AREAS.

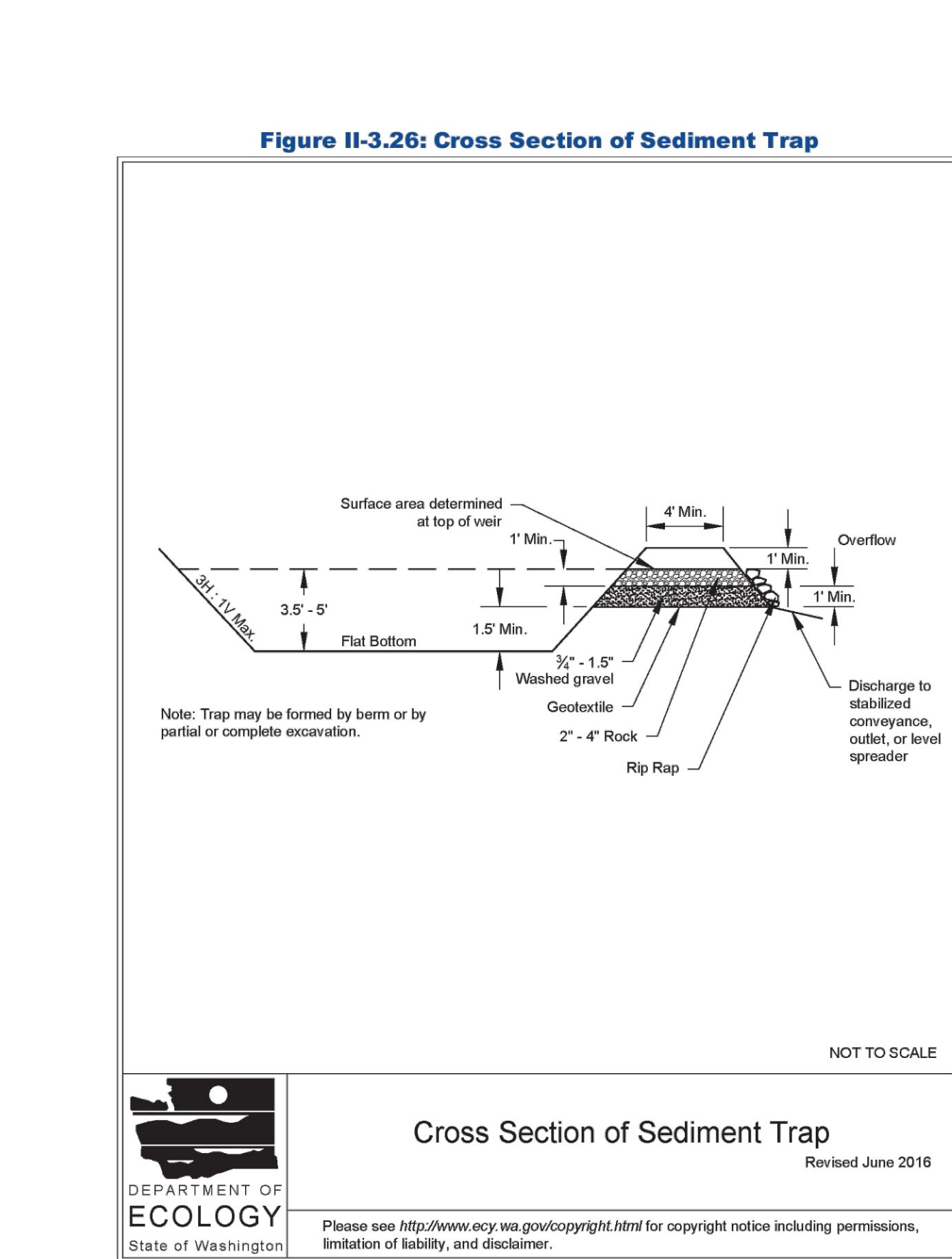
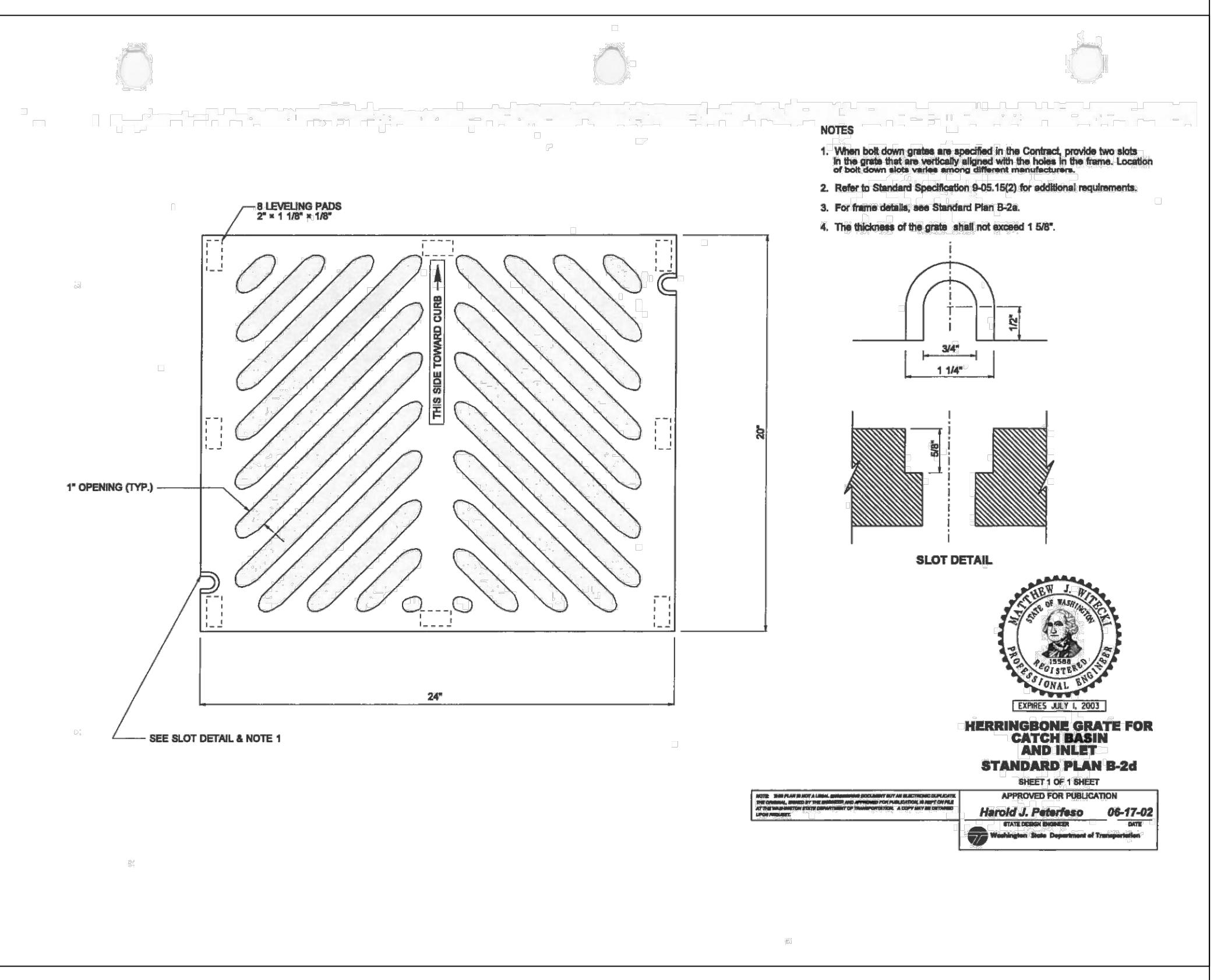
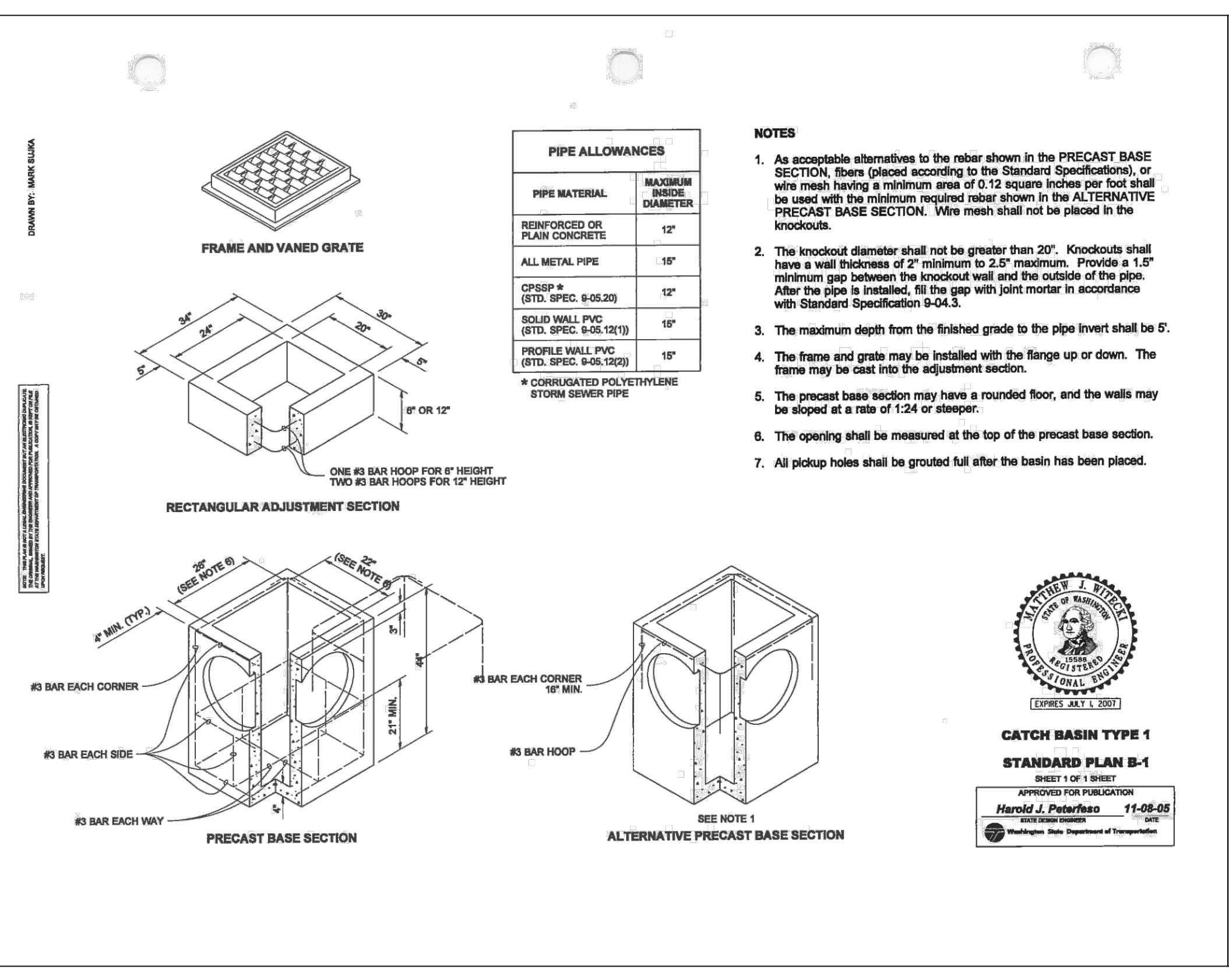
W8 VALVE MARKER POST
HYDRANT GUARD POST
3.2

CLEANOUT DETAIL OUTSIDE ASPHALT OR CONCRETE AREAS
NOT TO SCALE
A 3.2

CLEANOUT DETAIL WITHIN ASPHALT OR CONCRETE AREAS
NOT TO SCALE
B 3.2

TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE
E 3.2

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**CENTER STREET
MIXED-USE
FOR
KSA INVESTMENTS, LLC**
**WATER, WSDOT
STANDARD PLANS &
CONSTRUCTION DETAILS**

**SCALE: AS NOTED
DRAWN BY: C.SEVERIN
DESIGNED BY: P.SEVERIN
DATE: 08.30.2023
JOB NUMBER: 21098
DWG NAME: 21098PLN.DWG
SHEET NUMBER: C3.2**
C3.2
**Sound Development Group
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Mount Vernon, WA 98273 Tel: 360-404-2010**
**SHEET REVISIONS:
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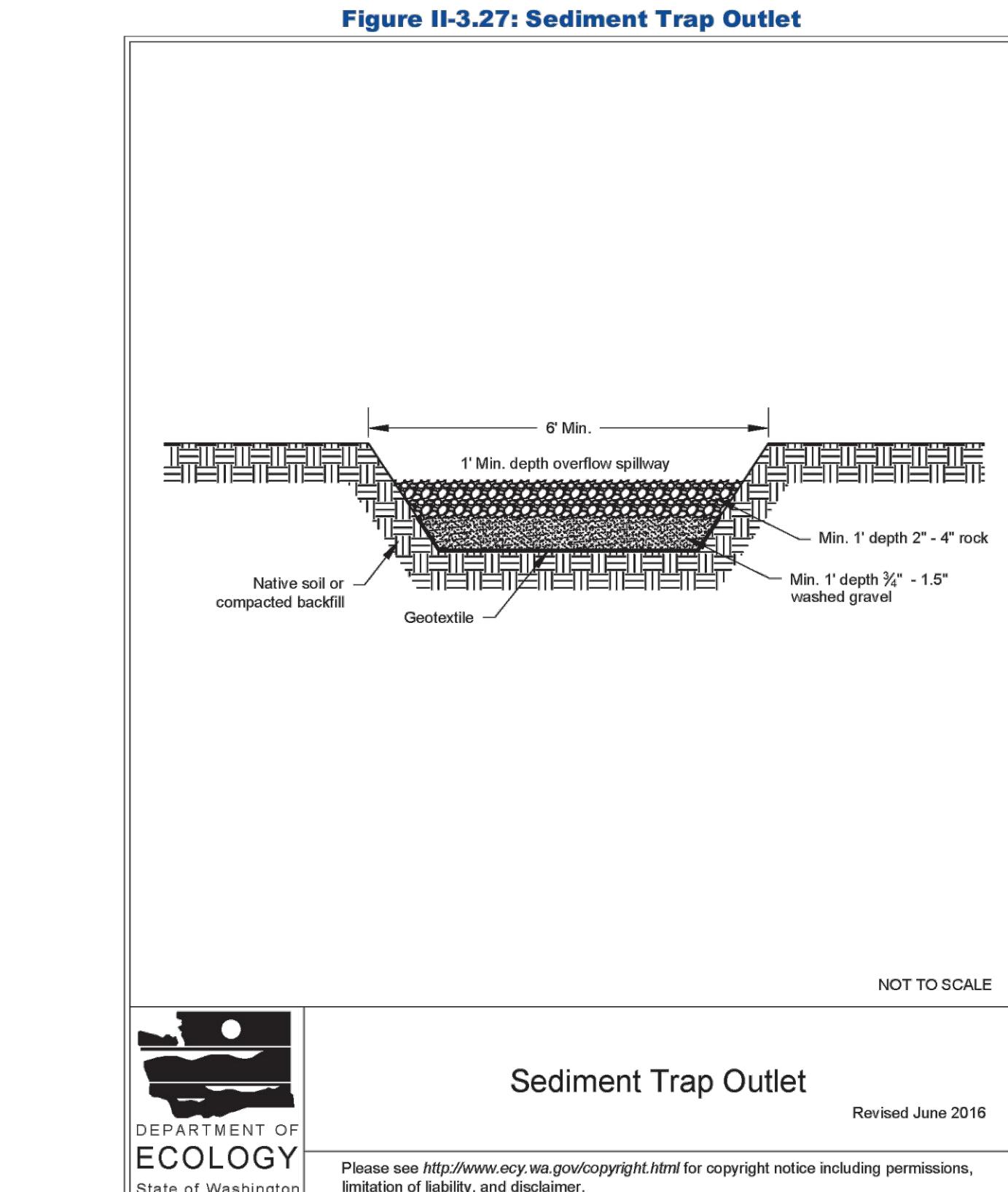
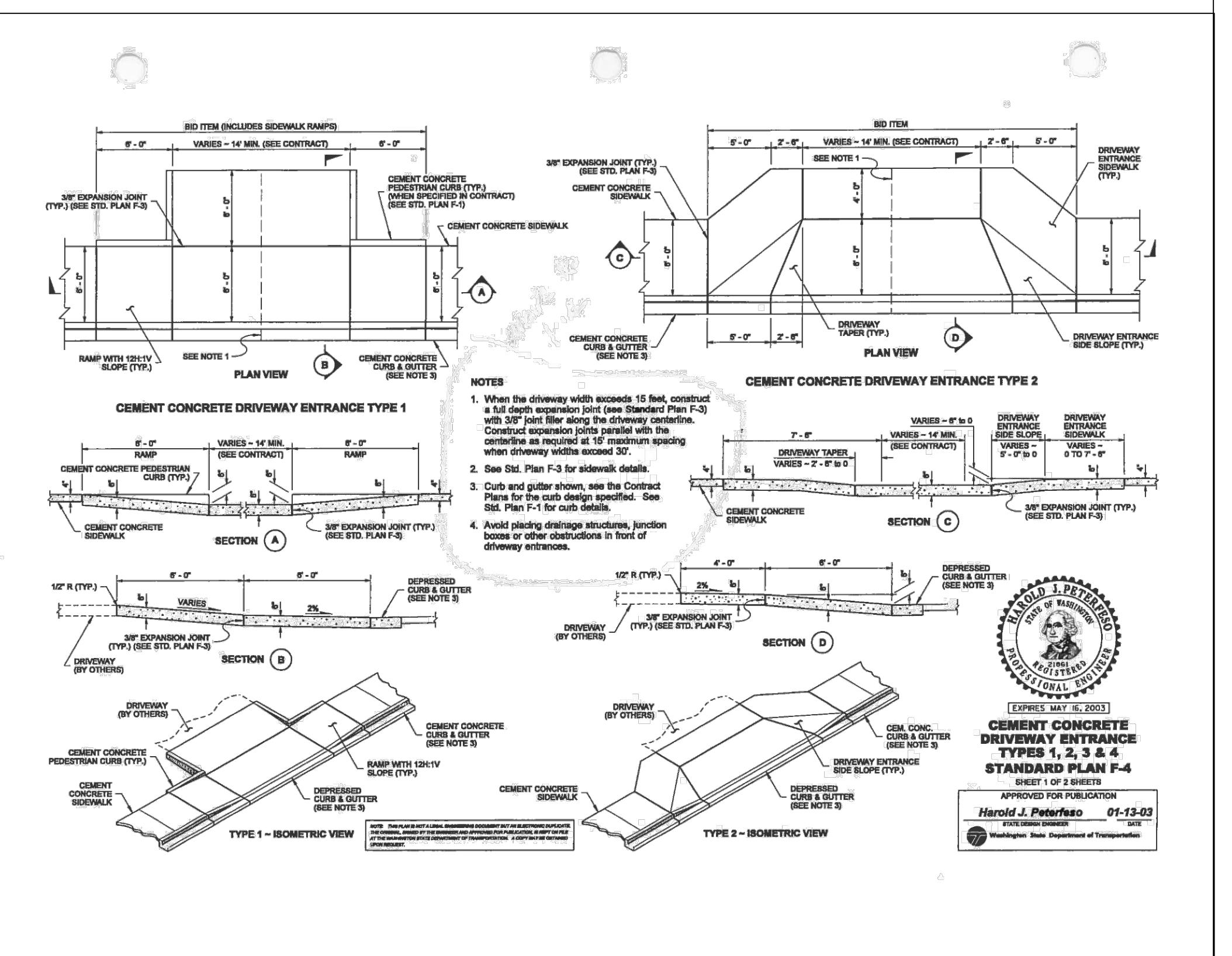
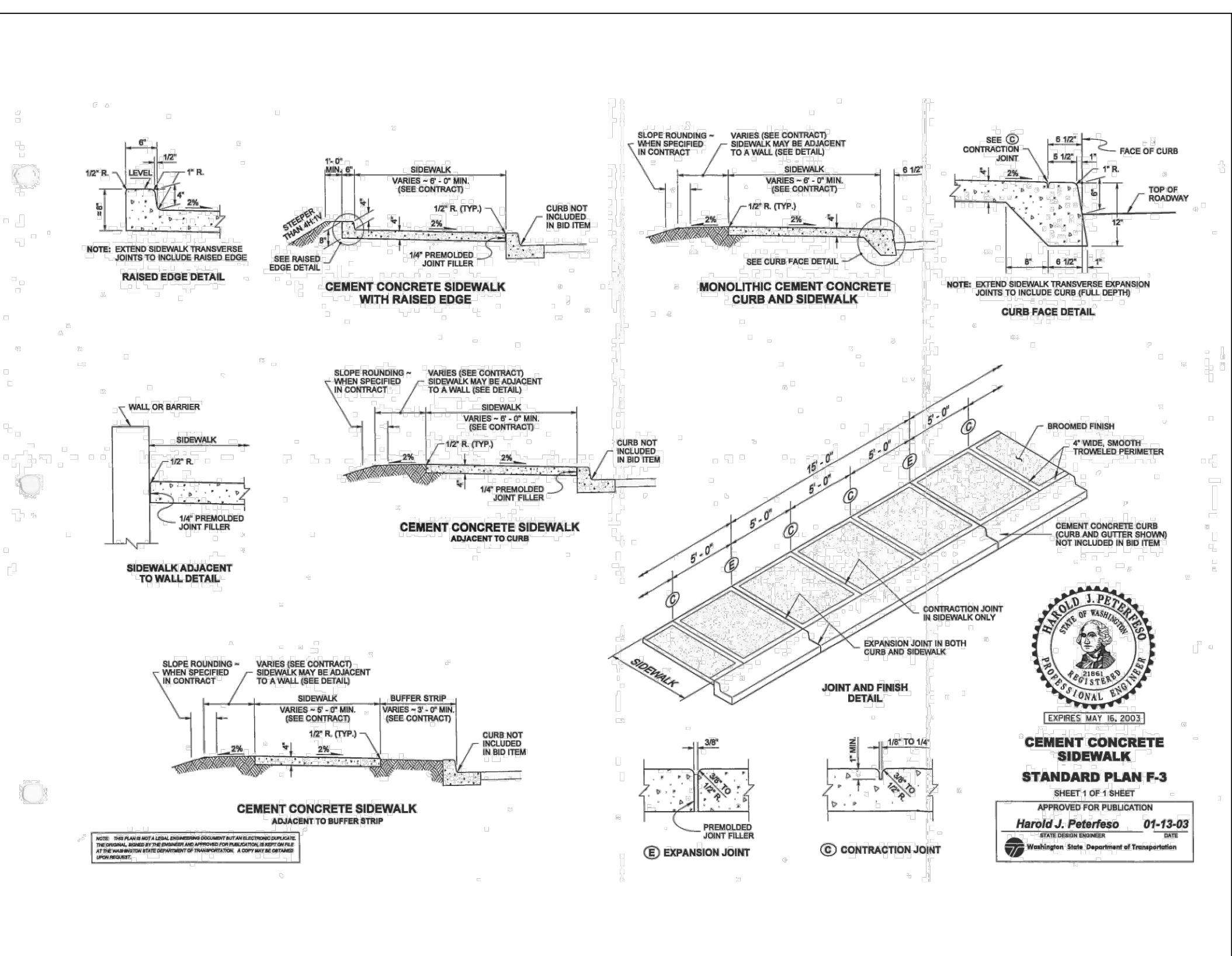
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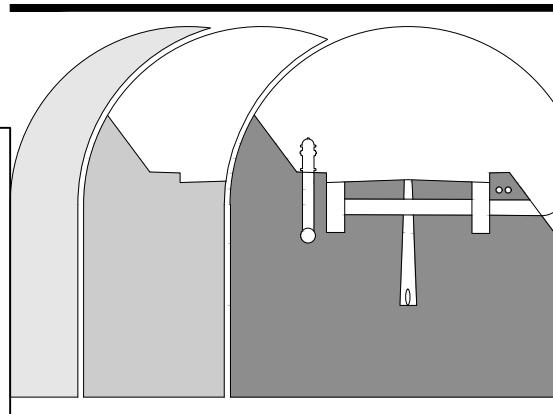
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FOR
KSA INVESTMENTS, LLC**

**WSDOT STANDARD PLANS
& SEDIMENT TRAP DETAIL**



**SCALE: AS NOTED
DRAWN BY: C.SEVERIN
DESIGNED BY: P.SEVERIN
DATE: 08.30.2023
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C3.3



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1 9.22.23 ARCHITECT REVISION P.L.S.**

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE 2023 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AS PREPARED BY WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND THE AMERICAN PUBLIC WORKS ASSOCIATION (WSDOT/APA), HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS". REFERENCES WILL BE MADE TO THE STANDARD SPECIFICATIONS MANUAL AND THE STANDARD PLANS BOOK.

2. EXISTING UTILITIES HAVE BEEN TAKEN FROM AVAILABLE FIELD AND OFFICE RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR UTILIZING THE ONE-CALL UTILITY LOCATE SERVICES, 1-800-234-5555, A MINIMUM OF TWO WORKING DAYS PRIOR TO ANY CONSTRUCTION. DAMAGES TO THE EXISTING UTILITIES RESULTING FROM THIS CONSTRUCTION SHALL BE REPAIRED BY AND AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL VERIFY ANY POTENTIAL UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

3. THE CONTRACTOR SHALL MAKE DAILY EFFORTS TO KEEP THE SITE IN A NEAT AND ORDERLY CONDITION TO THE SATISFACTION OF THE OWNER, ENGINEER, AND TOWN OF LA CONNER ENGINEERING DEPARTMENT. IF CONSTRUCTION OCCURS DURING RAINY WEATHER CONDITIONS, THEREBY CAUSING DEBRIS TO BE TRACKED ONTO THE EXISTING ASPHALT, THE CONTRACTOR SHALL CONSTRUCT A QUARRY SPALL 20 FEET WIDE BY 100 FEET LONG MINIMUM. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGES TO EXISTING IMPROVEMENTS RESULTING FROM THIS CONSTRUCTION.

4. DURING ALL PHASES OF CONSTRUCTION, THE CONTRACTOR SHALL SWEEP AND REMOVE ALL DEBRIS TRACKED ONTO THE EXISTING ROADS. FAILURE TO KEEP ROAD FREE FROM DEBRIS FROM EXISTING ROADWAY MAY CAUSE WORK STOPPAGE THE CONTRACTOR SHALL ALSO WATER THE SITE (IF REQUIRED) TO RELEVE CONSTRUCTION DUST.

5. AT ALL TIMES, TRAFFIC LANES SHALL BE MAINTAINED ON EXISTING ROADS. TEMPORARY AND PARTIAL ROAD CLOSURE SHALL BE APPROVED BY TOWN OF LA CONNER ENGINEERING, FIRE, AND POLICE DEPARTMENTS PRIOR TO CONSTRUCTION. DURING CONSTRUCTION WITHIN THE RIGHT-OF-WAYS, THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR TRAFFIC CONTROL AND CONSTRUCTION WARNING/CONTROL SIGNS.

6. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL STATE, AND FEDERAL REGULATIONS CONCERNING DISPOSAL OF MATERIALS. ALL ASPHALT, CONCRETE, BRICK, AND STRUCTURES REMOVED FROM THIS SITE SHALL BE DISPOSED OF IN AN APPROVED SITE OBTAINED BY THE CONTRACTOR.

7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND APPLYING FOR ALL PERMITS ASSOCIATED WITH THIS CONSTRUCTION NOT OBTAINED BY THE OWNER AND/OR ENGINEER.

8. THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCY IN PLANS AND EXISTING CONDITIONS IS DISCOVERED.

9. THE CONTRACTOR SHALL STOCKPILE NATIVE TOPSOIL MATERIALS, FREE OF SOIL AND DEBRIS LARGER THAN TWO INCHES, TO BE USED AS THE CLEARED LANDSCAPE AREA. THE CONTRACTOR SHALL STOCKPILE EXCESS NATIVE MATERIAL FROM THE SITE DIRECTLY TO THE EXISTING ROAD. EXCESS NATIVE MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED DUMPSITE RETAINED BY THE CONTRACTOR. DEBRIS AND STRUCTURES SHALL BE REMOVED FROM SITE AND DISPOSED AT AN APPROVED DISPOSAL SITE RETAINED BY THE CONTRACTOR.

10. ALL PORTIONS OF THE SITE UNDER THE PROPOSED ASPHALT SHALL BE EXCAVATED TO DEPOSE NON-ORGANIC MATERIAL SUITABLE FOR CONSTRUCTION. THE SUBGRADE SHALL BE PREPARED CONFORMING TO SECTION 2-03-31.01 AND COMPACTED TO A MINIMUM OF 105% MAXIMUM DENSITY WITH A MINIMUM TEN-TON SELF-PROPELLED VIBRATORY ROLLER. ANY AREAS THAT INDICATE PUMPING, UNSTABLE, OR YIELDING SOIL CONDITIONS SHALL BE OVER EXCAVATED AND REPLACED WITH TWO INCH TO FOUR-INCH QUARRY SPALLS. STOCKPILED MATERIAL SHALL BE PROTECTED FROM OVER-SATURATION BY RAINFALL OR PONDED WATER. FINAL GRADED SURFACE SHALL BE RAKED TO REMOVE ALL DEBRIS LARGER THAN ONE-INCH FROM THE SURFACE.

11. ORGANIC MATERIAL AND NON-SUITABLE NATIVE MATERIAL DISCOVERED DURING SUBGRADE EXCAVATION AND SITE PREPARATION SHALL BE ENTIRELY REMOVED AND DISPOSED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

12. DURING PERIODS OF RAINFALL, THE CONTRACTOR SHALL PREVENT WATER FROM STANDING ON THE SUBGRADE OR ON THE PREPARED GRAVEL SURFACE. THE CONTRACTOR IS RESPONSIBLE FOR SUBGRADE PROTECTION, REPAIR, AND REPLACEMENT OF SUBGRADE MATERIALS SHALL BE PAID FOR AND AT THE CONTRACTOR'S EXPENSE. STORM RUNOFF SHALL BE DISCHARGED TO THE STORM SYSTEM OR ON SITE LOCATION THAT WILL NOT IMPACT THE NEIGHBORING PROPERTIES. THIS PROJECT, DOWNSTREAM CONVEYANCE SYSTEM. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY DITCHING AND PUMPS TO REMOVE ALL STANDING WATER FROM THE WORK AREA.

13. STRUCTURAL FILL TO FILL IN THE SWALE IS TO BE GLACIAL TILL, OR AS APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. STRUCTURAL FILL FOR DRY WEATHER CONSTRUCTION MAY CONTAIN UP TO 10 PERCENT FINES THAT POTION PASSING THE U.S. NO. 200 SIZE BASED ON THE PORTION PASSING THE NO. 4 SIZE. IMPORTED FILL HAVING MORE THAN 10 PERCENT FINES IS TO BE REVIEWED BY THE DESIGN TEAM PRIOR TO THE START OF CONSTRUCTION. STRUCTURAL FILL FOR WET WEATHER CONSTRUCTION IS TO CONTAIN LESS THAN FIVE PERCENT FINES. THE OWNER SHALL PROVIDE INTAKE GRADING AND TEST RESULTS TO THE ENGINEER FOR APPROVAL. GRADATION AND PROCTOR TEST RESULTS SHALL BE SUPPLIED BY THE OWNER PER 2000 TONS OF IMPORTED MATERIAL. CRITERIA FOR COMPACTED TILL LINES IS GIVEN IN SECTION V-1.3 OF THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION ON STRUCTURAL FILL SPECIFICATIONS.

ALL AREAS THAT DO NOT MEET THE REQUIRED SPECIFICATIONS SHALL BE RE-COMPACTED AND RETESTED AT NO COST TO THE OWNER.

14. GRAVEL BORROW (IMPORTED STRUCTURAL FILL) SHALL COMPLY WITH SECTION 9-03-14(1) OF THE 2023 STANDARD SPECIFICATIONS OR THE IMPORTED STRUCTURAL FILL REQUIREMENTS LISTED IN THE GEOTECHNICAL REPORT. IF EVER IS MORE STRUCTURAL GRAVEL BASE SHALL CONSIST OF FULL GRADED SAND AND GRAVEL, CONFORMING TO THE REQUIREMENTS OF THE PERCENT PASSING THE NO. 4 SIZE. IMPORTED GRAVEL BASE IMPORTED TO THE SITE SHALL HAVE A CONTRACT GRAVITY. PRIOR TO IMPORTING A GRAVEL BASE MATERIAL, THE CONTRACTOR SHALL PROVIDE GRADATION AND TEST RESULTS TO THE ENGINEER FOR APPROVAL. GRADATION AND PROCTOR TEST RESULTS SHALL BE SUPPLIED BY THE CONTRACTOR PER 2000 TONS OF IMPORTED MATERIAL. THE CONTRACTOR SHALL RETAIN LICENSED PERSONNEL TO PERFORM COMPACTION TESTS FOR THE FOLLOWING:

A. TOP OF PREPARED GRAVEL BORROW WITHIN THE PARKING LOT AND ROAD SECTION ON A 50-FOOT GRIDINTERVAL FOR GRAVEL FILLS GREATER THAN TWO FEET.

B. ONE TEST ADJACENT TO ALL STRUCTURES WITHIN THE ASPHALT.

C. TRENCHES WITH THREE FEET OR LESS OF GRAVEL TRENCH BACKFILL: TOP CENTER OF UTILITY TRENCH AT 50-FOOT INTERVALS.

D. TRENCHES WITH MORE THAN THREE FEET OF GRAVEL TRENCH BACKFILL: TOP CENTER OF UTILITY TRENCH AND MID-DEPTH OF TRENCH, BOTH AT 50-FOOT INTERVALS. ALL TEST RESULTS SHALL MEET OR EXCEED THE SPECIFICATIONS.

ALL AREAS THAT DO NOT MEET THE REQUIRED SPECIFICATIONS SHALL BE RE-COMPACTED AND RETESTED AT NO ADDITIONAL COST TO THE OWNER.

15. CRUSHED SURFACING TOP COURSE SHALL CONFORM TO SECTION 9-03-03(1) OF THE 2023 STANDARD SPECIFICATIONS. EACH LIFT SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 105% MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 TESTING PROCEDURE. PLACEMENT AND GRADING OF COMPACTED CRUSHED TOP COURSE MATERIAL, WITHIN THE ASPHALT AREAS SHALL HAVE A TOLERANCE OF PLUS OR MINUS ONE-HALF INCH FROM THE DESIGNATED TOP OF CRUSHED SURFACING TOP COURSE. THE OWNER SHALL PROVIDE GRADATION AND DEGRADATION TEST RESULTS TO THE ENGINEER FOR APPROVAL OF SITE MATERIAL.

16. ASPHALT CONCRETE PAVEMENT SHALL CONFORM TO SECTION 9-04 OF THE 2023 STANDARD SPECIFICATIONS. THE FINAL GRADING OF CRUSHED SURFACING TOP COURSE WILL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO ASPHALT PAVING. ALL BUTTING EDGES OF EXISTING ASPHALT SHALL BE CUT FULL DEPTH TO PROVIDE A NEAT, STABLE EDGE FOR THE NEW ASPHALT. ALL SAW CUT FACES SHALL BE TAILED COATED AS WELL AS ALL STRUCTURES THAT ABUT ASPHALT. THE SURFACE JOINT BETWEEN EXISTING AND NEW ASPHALT MUST BE SEALED WITH HEAT-APPLIED CSS-1 AND SAND COAT. THE CONTRACTOR SHALL RETAIN LICENSED MATERIALS-TESTING PERSONNEL TO PROVIDE COMPACTATION TESTS THAT DO NOT MEET THE REQUIRED SPECIFICATIONS SHALL BE RECOMPACTED AND RETESTED AT NO ADDITIONAL COST TO THE OWNER. WITHIN 24 HOURS PRIOR TO PAVING, SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL CRUSHED TOP COURSE SURFACES WITHIN THE PARKING LOTS AND ROADS.

17. HOT MIX ASPHALT SHALL BE PLACED AT THE LOCATIONS AND DEPTHS INDICATED ON THE PLANS. HOT MIX ASPHALT SHALL BE COMPACTED AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL COMPACT HOT MIX ASPHALT TO A MINIMUM OF 180 DEGREES FAHRENHEIT AND 300 DEGREES FAHRENHEIT. DURING COLD WEATHER CONDITIONS, AS DETERMINED BY THE ENGINEER, ALL TURFING OF ASPHALT SHALL BE COVERED SO AS TO RETAIN HEAT. THE OWNER SHALL RETAIN LICENSED MATERIALS-TESTING PERSONNEL TO PROVIDE COMPACTATION TESTS AT 50-FOOT GRIDINTERVALS THROUGHOUT THE PARKING LOT AND ROAD SECTION. IF COMPACTATION TEST RESULTS FOR HOT MIX ASPHALT INDICATE LESS THAN 180 DEGREES FAHRENHEIT, THE CONTRACTOR SHALL RECOMPACT AND RETEST AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE SECURED ACCORDING TO SECTION 9-04.35(C) CRACK SEALING, AT NO ADDITIONAL COST TO THE OWNER, WITHIN 24 HOURS PRIOR TO PAVING. SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL CRUSHED TOP COURSE SURFACES WITHIN THE PARKING LOTS AND ROADS.

18. CONCRETE SIDEWALKS SHALL BE INSTALLED AS INDICATED ON THE CIVIL PLANS. SIDEWALKS SHALL BE SIX INCHES THICK SUPPORTED BY A MINIMUM OF SIX-INCHES OF GRAVEL BORROW, COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY AS DETERMINED BY COMPACTATION TESTING. UNLESS OTHERWISE SPECIFIED, SIDEWALKS ADJACENT TO PROPOSED ASPHALT SHALL HAVE THICKENED EDGES. SIDEWALKS SHALL HAVE FULL DEPTH EXPANSION JOINTS INSTALLED AT 25-FOOT INTERVALS WITH ONE-INCH SCORED STRESS JOINTS INSTALLED AT FIVE FEET ON CENTER. EXTRUDED CURB SHALL BE PLACED ON FINISHED CONCRETE SIDEWALKS, AND THE EXTRUDED CURB SHALL BE PLACED ON THE SIDEWALKS WITH THE CURB RADIUS PLACED IN STRAIGHT LINES AND ACCORDING TO RADIUS SHOWN ON THE PLANS. PAVING THAT EXTENDS MORE THAN THREE FEET BEYOND THE BACK OF EXTRUDED CURB SHALL BE CUT FULL DEPTH AND REMOVED. ALL CONCRETE PAVEMENT, UNLESS OTHERWISE SPECIFIED, IS TO HAVE 1.5-INCH CRACK JOINTS SPACED AT 12 FEET MAXIMUM INTERVALS IN BOTH DIRECTIONS AND ARE TO BE SEALED TO RESTRICT WATER INFILTRATION INTO THE JOINTS.

STORM SEWER

1. THE FOLLOWING MATERIALS ARE ACCEPTABLE FOR THE STORM SEWERS IDENTIFIED ON THE PLANS:

A. PVC PIPE (POLYVINYL CHLORIDE) OVER 8" IN DIAMETER SHALL CONFORM TO SECTION 9-05-12(1) MEETING THE REQUIREMENTS OF ASTM D3034 SRPS. PVC PIPE 8" IN DIAMETER AND UNDER SHALL CONFORM TO SECTION 9-05-16(1) OF THE STANDARD SPECIFICATIONS MEETING THE REQUIREMENTS OF AASHTO M294 TYPE S.

B. CORRUGATED POLYETHYLENE PIPE (CPI) SHALL HAVE A SMOOTH BARREL INTERIOR, CORRUGATED EXTERIOR, CONFORMING TO SECTION 9-05-17(1) MEETING THE REQUIREMENTS OF AASHTO M294.

C. PROFILE WALL PVC STORM PIPE 15" AND UNDER SHALL CONFORM TO SECTION 9-05-12(2) OF THE STANDARD SPECIFICATIONS, MEETING THE REQUIREMENTS OF AASHTO M304 SRPS. ALL FITTINGS SHALL CONFORM TO ASTM F 794. ALL PIPES SHALL HAVE GASKETED JOINTS.

2. STORM CATCH BASINS AS INDICATED ON THE PLANS SHALL CONFORM TO TOWN OF LA CONNER ENGINEERING DEPARTMENT AND:

BURLINGTON CATCH BASIN PER CUC CONCRETE CB DETAIL
TYPE I CATCH BASIN PER WSDOT STD PLAN B-20-01
TYPE II CATCH BASIN PER WSDOT STD PLAN B-20-01
CATCH BASIN STD. GRADE PER WSDOT STD. PLAN B-20-01
CATCH BASIN THRU CURB GRADE PER WSDOT STD. PLAN B-20-01
ALL CATCH BASINS SHALL HAVE A MINIMUM 2-FOOT SUMP UNLESS OTHERWISE INDICATED.

IF SUBGRADE CONDITIONS ARE SOFT BELOW PROPOSED STRUCTURES, THE FOUNDATION SHALL BE OVER-EXCAVATED TWO FEET BELOW THE STRUCTURE, AND THREE FEET FROM THE SIDES OF THE STRUCTURE, AND BACK-FILLED WITH MECHANICALLY COMPACTED 2" QUARRY SPALLS. ALL STRUCTURE JOINTS MUST BE GASKETED.

3. ALL PVC PIPE CONNECTIONS SHALL BE MADE TO STRUCTURES USING PVC SAND COLLARS.

4. UPON INSTALLATION OF ALL PIPES TO STORM STRUCTURES, THE KNOCKOUT AREA SHALL BE NEATLY MUDDED INSIDE AND OUT OF THE CATCH BASIN USING A NON-SHRINK CONCRETE GROUT.

5. UPON COMPLETION OF ALL CRUSHED TO COARSE GRADING AND PREPARATION FOR ASPHALT PAVING, ALL CATCH BASIN STRUCTURES SHALL BE CORRECTLY ADJUSTED SO AS TO BE FLUSH WITH THE PROPOSED FINISH GRADE.

6. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL FLUSH ALL STORM PIPES TO REMOVE ANY DEBRIS. DEBRIS SHALL NOT BE DISPOSED OF INTO THE DOWNSTREAM DRAINAGE SYSTEM, BUT DISPOSED IN AN APPROPRIATE MANNER.

7. BLOCK LETTERING SHALL BE EMBOSSED ON THE TOP SURFACES OF GRATES AND COVERS AS FOLLOWS:

A. "DRAIN" - 3-INCH LETTERS ON ALL SOLID COVERS.

B. "OUTLET TO STREAM DUMP NO POLLUTANTS" - 1/2-INCH LETTERS ON ALL GRATES.

8. ALL SOLID COVERS AND GRATES SHALL BE SECURED WITH 5/8-INCH STAINLESS STEEL SOCKET HEAD CAP SCREWS.

A LIGHT COATING OF ANTI-SEIZE THREAD COMPOUND SHALL BE APPLIED TO THE SCREWS AT THE TIME OF INSTALLATION. THE ANTI-SEIZE COMPOUND USED SHALL BE LOCITE 767 OR APPROVED EQUAL. ANTI-SEIZE COMPOUND SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

OTHER LOCKING DEVICES ARE ACCEPTABLE SUBJECT TO APPROVAL BY TOWN OF LA CONNER ENGINEERING DIRECTOR.

SANITARY SEWER

2. THE LOCATION OF THE SANITARY SEWER SERVICE IS INDICATED ON THE PLANS. SEWER SERVICE SHALL BE INSTALLED AT THE SLOPE AND LOCATION AS INDICATED ON THE CIVIL PLANS.

3. SEWER PIPE SHALL BE PVC, CONFORMING TO ASTM D-3034, SRPS 35 AND SECTION 9-05-12 OF THE 2023 STANDARD SPECIFICATIONS. JOINTS SHALL BE BELL AND SPIGOT WITH A RUBBER GASKET. MATERIALS AND CONSTRUCTION SHALL CONFORM TO SECTION 7-08 AND SECTION 7-17 WSDOT/APA, AND THE TOWN OF LA CONNER PUBLIC WORKS DEPARTMENT.

4. CLEAUNOTS SHALL BE INSTALLED AT LOCATIONS AND ELEVATIONS AS SHOWN ON THE CONSTRUCTION PLANS. CLEAUNOTS SHALL CONFORM TO THE CONSTRUCTION DETAIL, AND THE TOWN OF LA CONNER REQUIREMENTS. CLEAUNOTS SHALL BE INSTALLED TO MATCH FINISH GRADE WITHIN CONCRETE AND ASPHALT AREAS.

5. THE CONTRACTOR IS TO INSTALL ALL COMPONENTS OF THE SANITARY SEWER SYSTEM A TO PREVENT ANY INTRUSION ON EXISTING GROUNDWATER.

6. AIR PRESSURE TESTING, IF REQUIRED BY THE TOWN OF LA CONNER PUBLIC WORKS, SHALL BE PERFORMED BY THE CONTRACTOR ON ALL PROPOSED SEWER LINES. THE PRESSURE TEST SHALL BE PERFORMED AT FIVE PSI FOR TEN MINUTES WITH NO SIGNIFICANT GAUGE DROP. ADEQUATE TIME (TWO MINUTES MINIMUM) SHALL ELAPSE BEFORE THE PRESSURE TEST IS PERFORMED TO ALLOW THE PRESSURE TO STABILIZE. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ALL STRUCTURES, CLEAUNOTS AND PIPE ENDS DURING THIS TEST.

UTILITY TRENCHES

1. ALL TRENCHES SHALL BE EXCAVATED TO PROVIDE A MINIMUM WIDTH OF EIGHT INCHES ON EITHER SIDE OF THE PROPOSED UTILITY AS INDICATED ON THE UTILITY TRENCH DETAIL, WITHIN THE CIVIL DRAWINGS. ALL STORM AND SEWER PIPES SHALL BE BEDDED WITH PEA GRAVEL OR BUCKSHOT WITH 100% OF THE MATERIAL PASSING THE 1/4-INCH SCREEN. BEDDING MATERIAL SHALL ALSO BE USED TO COVER THE PIPE TO A MINIMUM OF FOUR INCHES ABOVE THE TOP OF THE PIPE. THE CONTRACTOR SHALL CAREFULLY TAMP AND HAND COMPACT BEDDING AND COVER MATERIAL TO ASSURE ADEQUATE SUPPORT UNDER THE BARREL OF THE PIPE.

2. TRENCH BACKFILL MATERIAL SHALL CONSIST OF COMPACTED GRAVEL BORROW PLACED IN LOOSE LIFTS NOT EXCEEDING EIGHT INCHES AND COMPACTED TO A MINIMUM OF 105% MAXIMUM DENSITY AS DETERMINED AS ASTM D-1557 TESTING PROCEDURE. THE INITIAL LIFT OF GRAVEL TRENCH BACKFILL OVER THE PIPE SHALL NOT EXCEED 18 INCHES IN ORDER TO PROTECT THE PIPE. STRONG BACKFILL SHALL BE USED AS TRENCH BACKFILL IN ALL TRENCHES UNDER PROPOSED ASPHALT, CONCRETE, CONSTRUCTION TRAFFIC AREAS, AND WITHIN FIVE FEET BEYOND IMPERVIOUS SURFACES. NATIVE MATERIAL SHALL NOT BE USED AS TRENCH BACKFILL.

3. NATIVE SOIL MATERIALS MAY BE USED AS TRENCH BACKFILL ONLY IN LOCATIONS BEYOND THOSE REQUIRING GRAVEL STRUCTURE. THE USE OF NATIVE SOIL MATERIALS AS TRENCH BACKFILL WITHIN THE CIVIL AND OWNER PRIOR TO THE WORK BEING PERFORMED. THE USE OF NATIVE SOILS WITHIN TRENCHES REQUIRING GRAVEL WILL ONLY BE ACCEPTED WITH THE APPROVAL OF THE GEOTECHNICAL ENGINEER, AND THE NATIVE SOILS MUST BE COMPACTED TO A MINIMUM OF 105% MAXIMUM DRY DENSITY. THE USE OF NATIVE SOILS AS TRENCH BACKFILL SHALL NOT PRECUE THE MINIMUM ASPHALT SECTION REQUIREMENTS AS IDENTIFIED ON THE CIVIL PLANS.

4. AT LOCATIONS WHERE NATIVE SOILS ARE USED, RESULTING IN A PUMPING, UNSTABLE TRENCH CONDITIONS, OR THE SOILS USED CONTAIN UNSUITABLE PRODUCTS, THE CONTRACTOR SHALL REMOVE ALL UNSUITABLE MATERIALS AND REPLACE WITH APPROPRIATE NATIVE MATERIAL OR IMPORTED GRAVEL STRUCTURAL FILL MATERIAL AT THE CONTRACTOR'S EXPENSE.

5. THE BOTTOM OF UTILITY TRENCHES SHALL HAVE A STABLE, NON-YIELDING, SOIL CONDITION SUITABLE FOR SUPPORTING THE DESIGN LOADS. WHERE THE BOTTOM OF TRENCH CONDITIONS EXHIBIT PUMPING, YIELDING CONDITIONS, THE BOTTOM OF TRENCH SHALL BE EXCAVATED TO EXPOSE FIRM STONE MATERIAL AND BACKFILL WITH TWO INCH TO FOUR-INCH SHOT ROCK MATERIAL. WHERE OVER EXCAVATING EXPOSES SIMILAR UNSTABLE CONDITIONS, TRENCH EXCAVATION SHALL BE DONE TO TWO FEET BELOW THE PIPE BEDDING MATERIAL AND BACKFILLED WITH TWO INCH TO FOUR-INCH SHOT ROCK MATERIAL.

6. THE CONTRACTOR SHALL PROVIDE AND COORDINATE WITH PUMP SET SOUND ENERGY, VERIZON NORTHWEST, COAST CABLE SERVICES AND CASCADE NATURAL GAS FOR THE UNDERGROUND INSTALLATION OF POWER, TELEPHONE, UTILITIES AND VAULT TRENCHING AND BACKFILLING AS REQUIRED AND DELINQUENT ON SAID UTILITY PLANS TO PROVIDE SERVICE TO LOTS SHOWN HEREIN, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE ON THE PLANS. ALL NONMETALLIC UTILITY CONDUITS SHALL HAVE DETECTABLE MARKING TAPE CONFORMING TO WSDOT SECTION 9-15.18 INSTALLED DURING CONDUIT PLACEMENT.

7. PEA GRAVEL SHALL NOT BE USED WITHIN ANY PORTION OF THE WATER SYSTEM.

8. THE OWNER SHALL RETAIN LICENSED AND QUALIFIED PERSONNEL TO PROVIDE COMPACTION TESTING FOR THE FOLLOWING:

A. TRENCHES WITH THREE FEET OR LESS OF GRAVEL TRENCH BACKFILL: TOP CENTER OF UTILITY TRENCH AT 50-FOOT INTERVALS.

B. TRENCHES WITH MORE THAN THREE FEET OF GRAVEL TRENCH BACKFILL: TOP CENTER OF UTILITY TRENCH AND MID-DEPTH OF TRENCH, BOTH AT 50-FOOT INTERVALS. ALL TEST RESULTS SHALL MEET OR EXCEED THE SPECIFICATIONS.

ALL AREAS THAT DO NOT MEET THE REQUIRED SPECIFICATIONS SHALL BE RE-COMPACTED AND RETESTED AT NO ADDITIONAL COST TO THE OWNER.

15. CRUSHED SURFACING TOP COURSE SHALL CONFORM TO SECTION 9-03-03(1) OF THE 2023 STANDARD SPECIFICATIONS. EACH LIFT SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 105% MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 TESTING PROCEDURE. PLACEMENT AND GRADING OF COMPACTED CRUSHED TOP COURSE MATERIAL, WITHIN THE ASPHALT AREAS SHALL HAVE A TOLERANCE OF PLUS OR MINUS ONE-HALF INCH FROM THE DESIGNATED TOP OF CRUSHED SURFACING TOP COURSE. THE OWNER SHALL PROVIDE GRADATION AND DEGRADATION TEST RESULTS TO THE ENGINEER FOR APPROVAL. GRADATION AND PROCTOR TEST RESULTS SHALL BE SUPPLIED BY THE CONTRACTOR PER 2000 TONS OF IMPORTED MATERIAL. THE CONTRACTOR SHALL RETAIN LICENSED PERSONNEL TO PERFORM COMPACTION TESTS FOR THE FOLLOWING:

A. TOP OF PREPARED GRAVEL BORROW WITHIN THE PARKING LOT AND ROAD SECTION ON A 50-FOOT GRIDINTERVAL FOR GRAVEL FILLS GREATER THAN TWO FEET.

B. ONE TEST ADJACENT TO ALL STRUCTURES WITHIN THE ASPHALT.

C. TRENCHES WITH THREE FEET OR LESS OF GRAVEL TRENCH BACKFILL: TOP CENTER OF UTILITY TRENCH AT 50-FOOT INTERVALS.

D. TRENCHES WITH MORE THAN THREE FEET OF GRAVEL TRENCH BACKFILL: TOP CENTER OF UTILITY TRENCH AND MID-DEPTH OF TRENCH, BOTH AT 50-FOOT INTERVALS. ALL TEST RESULTS SHALL MEET OR EXCEED THE SPECIFICATIONS.

ALL AREAS THAT DO NOT MEET THE REQUIRED SPECIFICATIONS SHALL BE RE-COMPACTED AND RETESTED AT NO ADDITIONAL COST TO THE OWNER.

16. ASPHALT CONCRETE PAVEMENT SHALL CONFORM TO SECTION 9-04 OF THE 2023 STANDARD SPECIFICATIONS. THE FINAL GRADING OF CRUSHED SURFACING TOP COURSE WILL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO ASPHALT PAVING. ALL BUTTING EDGES OF EXISTING ASPHALT SHALL BE CUT FULL DEPTH TO PROVIDE A NEAT, STABLE EDGE FOR THE NEW ASPHALT. ALL SAW CUT FACES SHALL BE TAILED COATED AS WELL AS ALL STRUCTURES THAT ABUT ASPHALT. THE SURFACE JOINT BETWEEN EXISTING AND NEW ASPHALT MUST BE SEALED WITH HEAT-APPLIED CSS-1 AND SAND COAT. THE CONTRACTOR SHALL BE SECURED ACCORDING TO SECTION 9-04.35(C) CRACK SEALING, AT NO ADDITIONAL COST TO THE OWNER, WITHIN 24 HOURS PRIOR TO PAVING. SOIL RESIDUAL HERBICIDE SHALL BE APPLIED TO ALL CRUSHED TOP COURSE SURFACES WITHIN THE PARKING LOTS AND ROADS.

17. HOT MIX ASPHALT SHALL BE PLACED AT THE LOCATIONS AND DEPTHS INDICATED ON THE PLANS. HOT MIX ASPHALT SHALL BE COMPACTED AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL COMPACT HOT MIX ASPHALT TO A MINIMUM OF 180 DEGREES FAHRENHEIT AND 300 DEGREES FAHRENHEIT. DURING COLD WEATHER CONDITIONS, AS DETERMINED BY THE ENGINEER, ALL TURFING OF ASPHALT SHALL BE COVERED SO AS TO