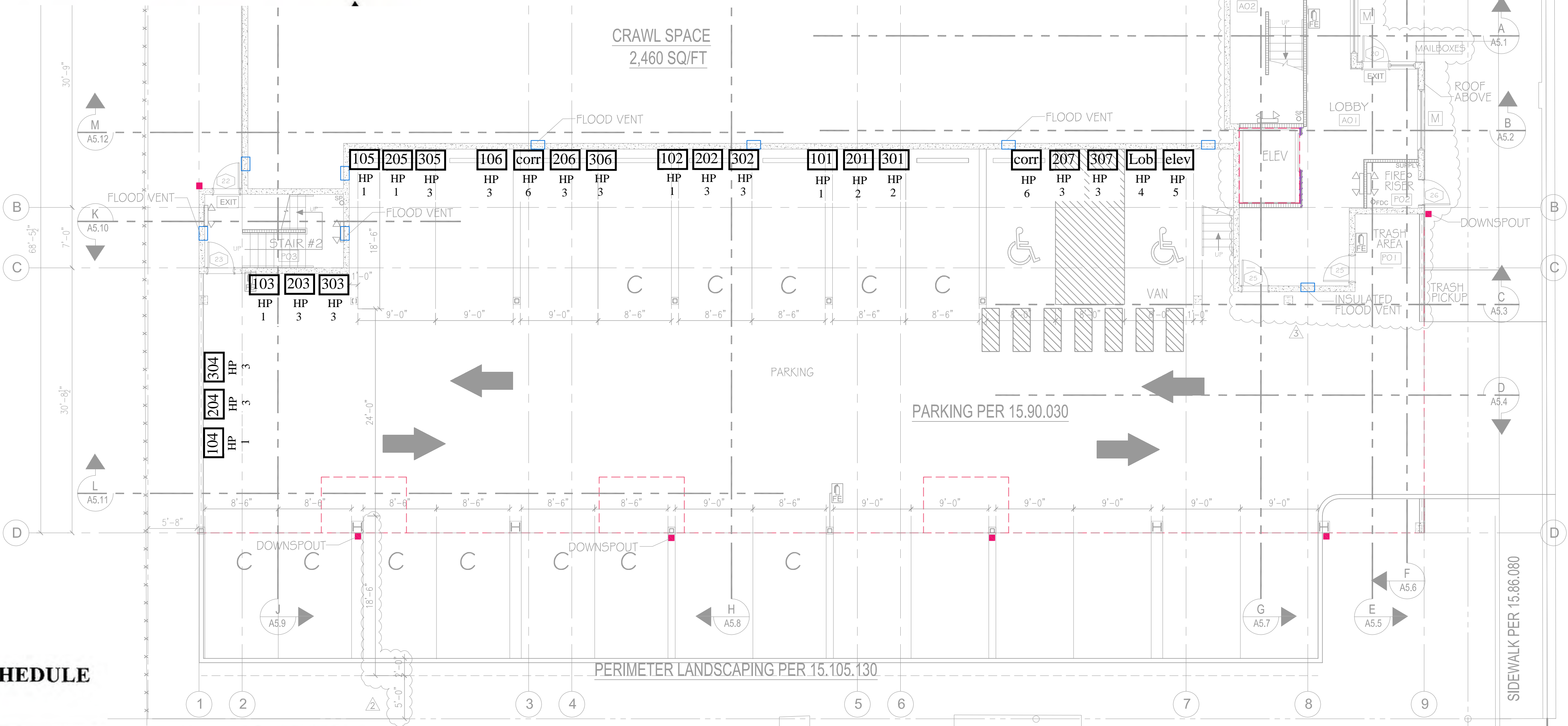


FAN COIL SCHEDULE

	MAKE	MODEL	BTU	POWER	AREA SERVED
AHU-1	BRYANT	619AHBQ06XA3	6,000	208/230-1-60	BEDROOMS
AHU-2	BRYANT	619AHBQ09XA3	9,000	208/230-1-60	LIVING ROOMS, CORRIDOORS
AHU-3	BRYANT	619AHBQ12XA3	12,000	208/230-1-60	B&B LIVING ROOMS
AHU-4	BRYANT	619AHBQ12XA3	12,000	208/230-1-60	LOBBY
AHU-5	BRYANT	619AHBQ18XA3	18,000	208/230-1-60	ELEVATOR ROOM
TF	SUNCOAST	TW208P	N/A	120/1/60	BEDROOM TRANSFER
ERV	PANASONIC	FV-04VE1	N/A	120/1/60	LIVING ROOM



HEAT PUMP SCHEDULE

	MAKE	MODEL	BTU/ COOLING	POWER	EFFICIENCY
HP-1	BRYANT	38MARBQ12AA3	12,000	208/230-1-60	22.5 SEER/12.0 HSPF
HP-2	BRYANT	38MGRBQ18BA3	18,000	208/230-1-60	22.5 SEER/ 10.6 HSPF
HP-3	BRYANT	38MGHBQ24CA3	24,000	208/230-1-60	24.1 SEER/ 11.0 HSPF
HP-4	BRYANT	38MARBQ12AA3	12,000	208/230-1-60	22.5 SEER/ 12.0 HSPF
HP-5	BRYANT	38MARBQ18AA3	18,000	208/230-1-60	21.5 SEER/ 12.0 HSPF
HP-6	BRYANT	38MGRBQ18BA3	18,000	208/230-1-60	22.5 SEER/ 10.6 HSPF

LEGEND

7

BT-1

DETAIL INDICATOR (SEE D. SHTS)

103

A

UNIT NUMBER INDICATOR

102

103

ROOM NUMBER INDICATOR

H

103

SECTION INDICATOR (SEE A5. SHTS)

104

105

WINDOW INDICATOR

106

107

DOOR INDICATOR

108

109

FIRE EXTINGUISHER

WALL LEGEND

VERIFY WALL TYPES AS PER SHEET RA1.1

EXTERIOR WALL - FIRE 1 SIDE

EXTERIOR WALL - FIRE BOTH SIDES

CORRIDOR WALL - STC 50 MIN

DEMISING WALL (1 HR) - STC 50 MIN

STANDARD WALL (1 HR)

PARTY WALL (1 HR) - STC 50 MIN

GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"

CHARLES MORGAN & ASSOCIATES, LLC

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EMAIL info@cmaarch.com
PHONE 425-353-2888

Design by:
Right Way
Plumbing & Heating

Contact:
Logan Clark
(360) 855-2665

DATE	4 OCT 23
REVISION	7 MAR 24
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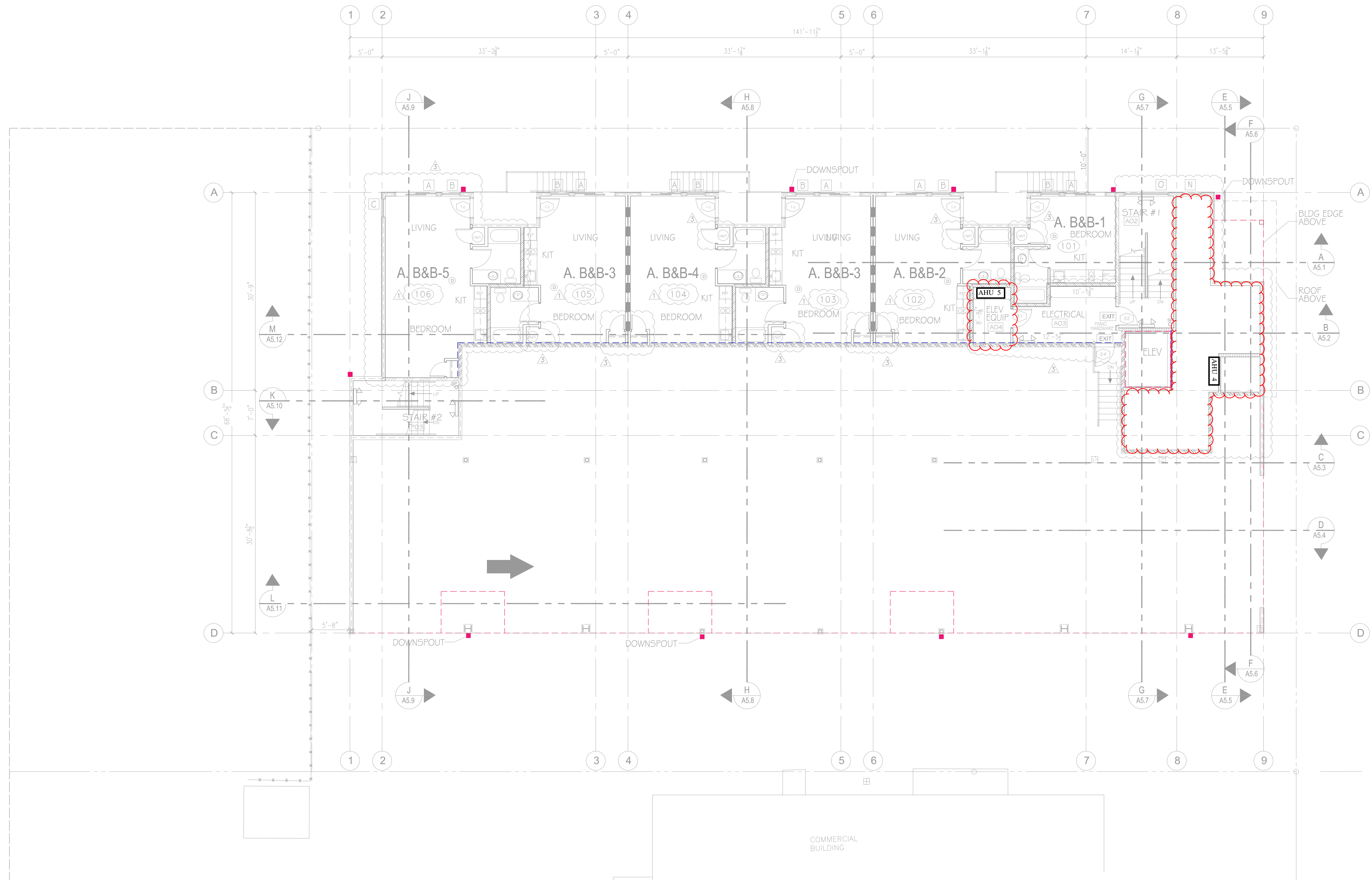
SHEET
M 1.0

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PROJECT
THE TALMON

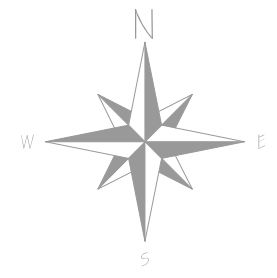
LOCATION
CENTER STREET, LA CONNER, WA

DEVELOPER
KSA INVESTMENTS, LLC



LEGEND			
	DETAIL INDICATOR (SEE D. SHTS)		UNIT NUMBER INDICATOR
	ROOM NUMBER INDICATOR		WINDOW INDICATOR
	SECTION INDICATOR (SEE A5. SHTS)		DOOR INDICATOR
			FIRE EXTINGUISHER

WALL LEGEND	
VERIFY WALL TYPES AS PER SHEET RA1.1	
	EXTERIOR WALL - FIRE 1 SIDE
	EXTERIOR WALL - FIRE BOTH SIDES
	CORRIDOR WALL - STC 50 MIN
	DEMISING WALL (1 HR) - STC 50 MIN
	STANDARD WALL (1 HR)
	PARTY WALL (1 HR) - STC 50 MIN



1ST FLOOR PLAN
SCALE 1/8" = 1'-0"

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PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC



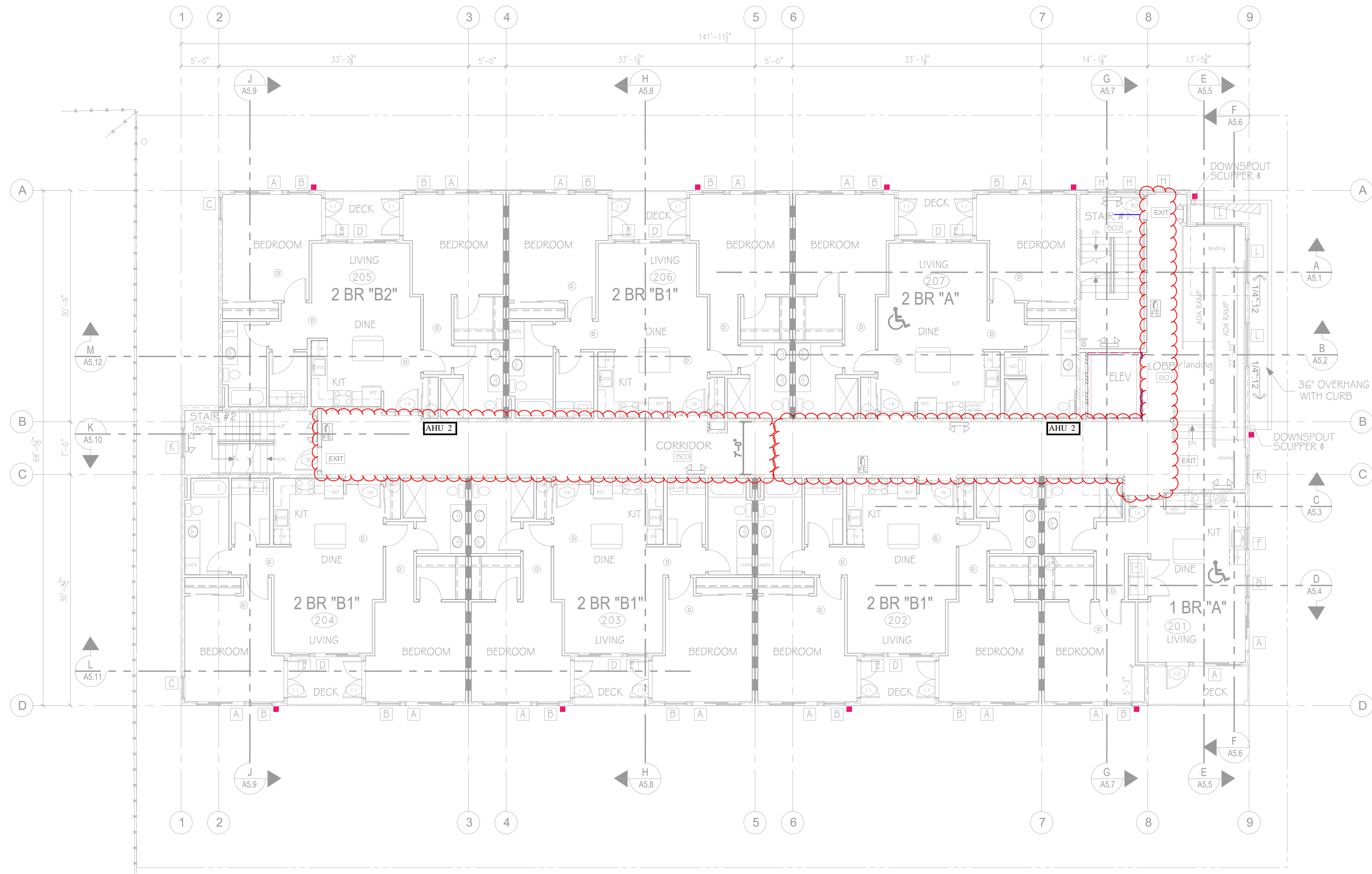
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SHEET
M 2.0

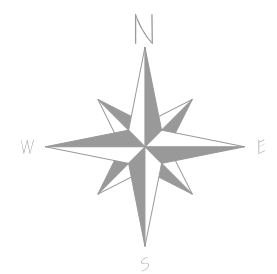


LEGEND

7 D1.1	DETAIL INDICATOR (SEE D. SHTS)	103	UNIT NUMBER INDICATOR
C02	ROOM NUMBER INDICATOR	A	WINDOW INDICATOR
H A5.9	SECTION INDICATOR (SEE A5. SHTS)	42	DOOR INDICATOR
		FE	FIRE EXTINGUISHER

WALL LEGEND
VERIFY WALL TYPES AS PER SHEET RA1.1

	EXTERIOR WALL - FIRE 1 SIDE
	EXTERIOR WALL - FIRE BOTH SIDES
	CORRIDOR WALL - STC 50 MIN
	DEMISING WALL (1 HR) - STC 50 MIN
	STANDARD WALL (1 HR)
	PARTY WALL (1 HR) - STC 50 MIN



2ND FLOOR PLAN
SCALE 1/8" = 1'-0"

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PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC



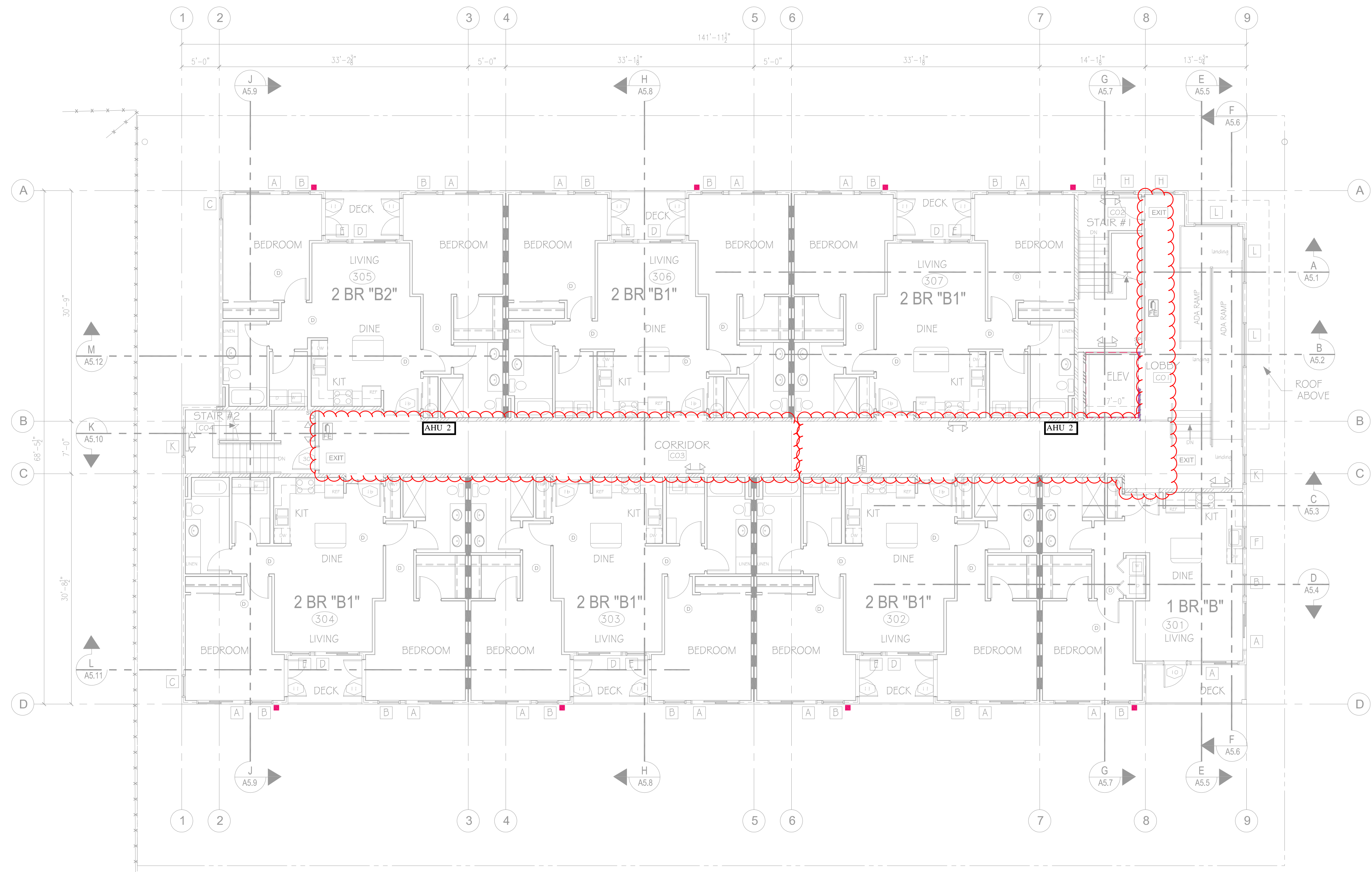
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SHEET
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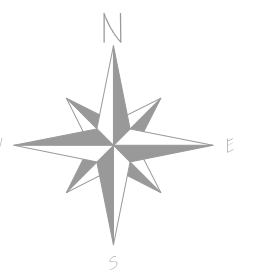


LEGEND

7 BT.1	DETAIL INDICATOR (SEE D. SHTS)	103	UNIT NUMBER INDICATOR
C02	ROOM NUMBER INDICATOR	A	WINDOW INDICATOR
H A5.8	SECTION INDICATOR (SEE A5. SHTS)	4	DOOR INDICATOR
		PE	FIRE EXTINGUISHER

WALL LEGEND
VERIFY WALL TYPES AS PER SHEET RA1.1

	EXTERIOR WALL - FIRE 1 SIDE
	EXTERIOR WALL - FIRE BOTH SIDES
	CORRIDOR WALL - STC 50 MIN
	DEMISING WALL (1 HR) - STC 50 MIN
	STANDARD WALL (1 HR)
	PARTY WALL (1 HR) - STC 50 MIN



3RD FLOOR PLAN
SCALE 1/8" = 1'-0"

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PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC



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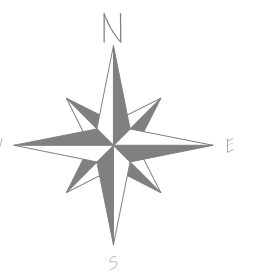
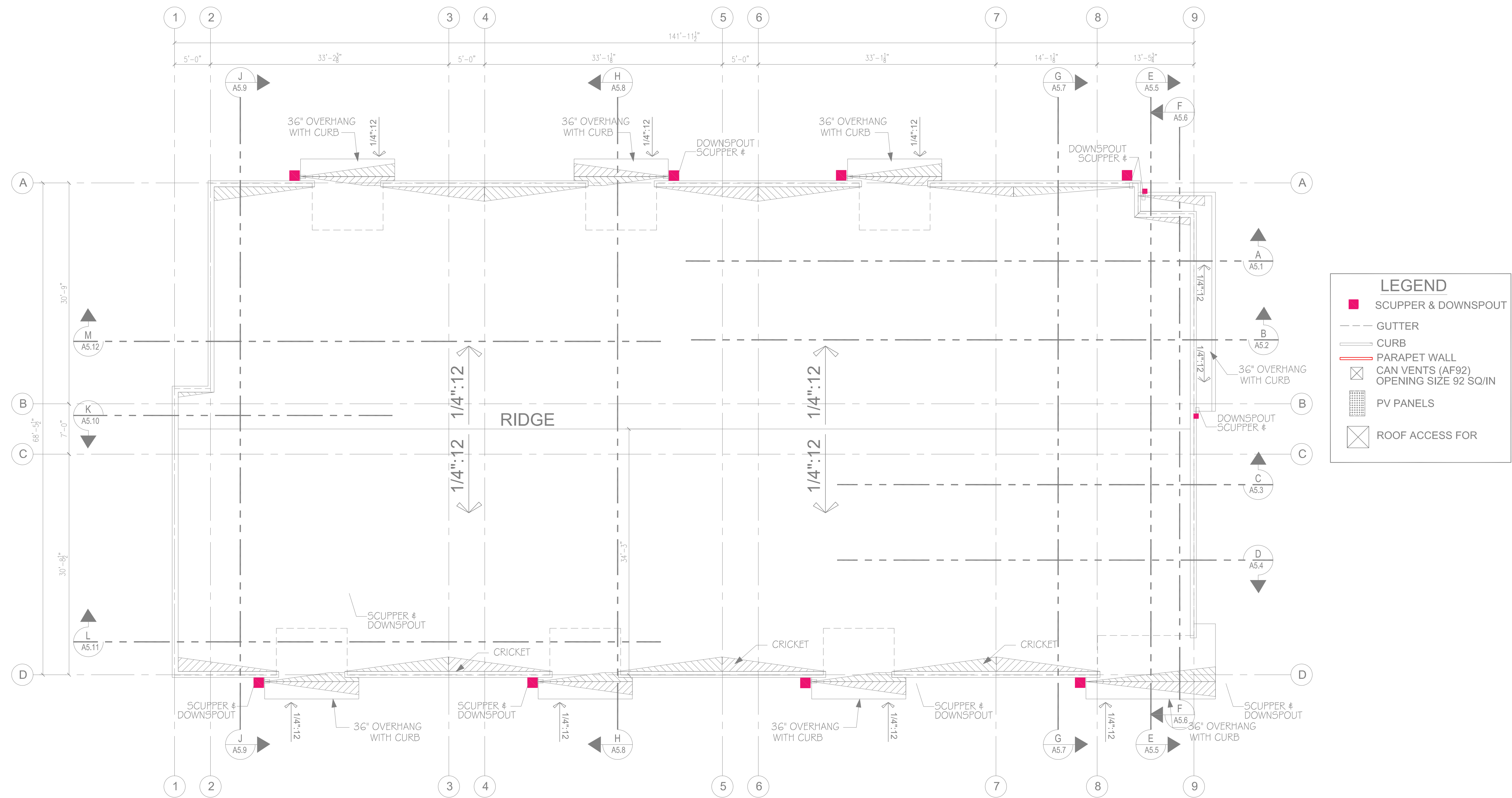
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SHEET

M 4.0



ROOF PLAN
SCALE 1/8" = 1'-0"

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PROJECT THE TALMON
LOCATION CENTER STREET, LA CONNER, WA
DEVELOPER KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC



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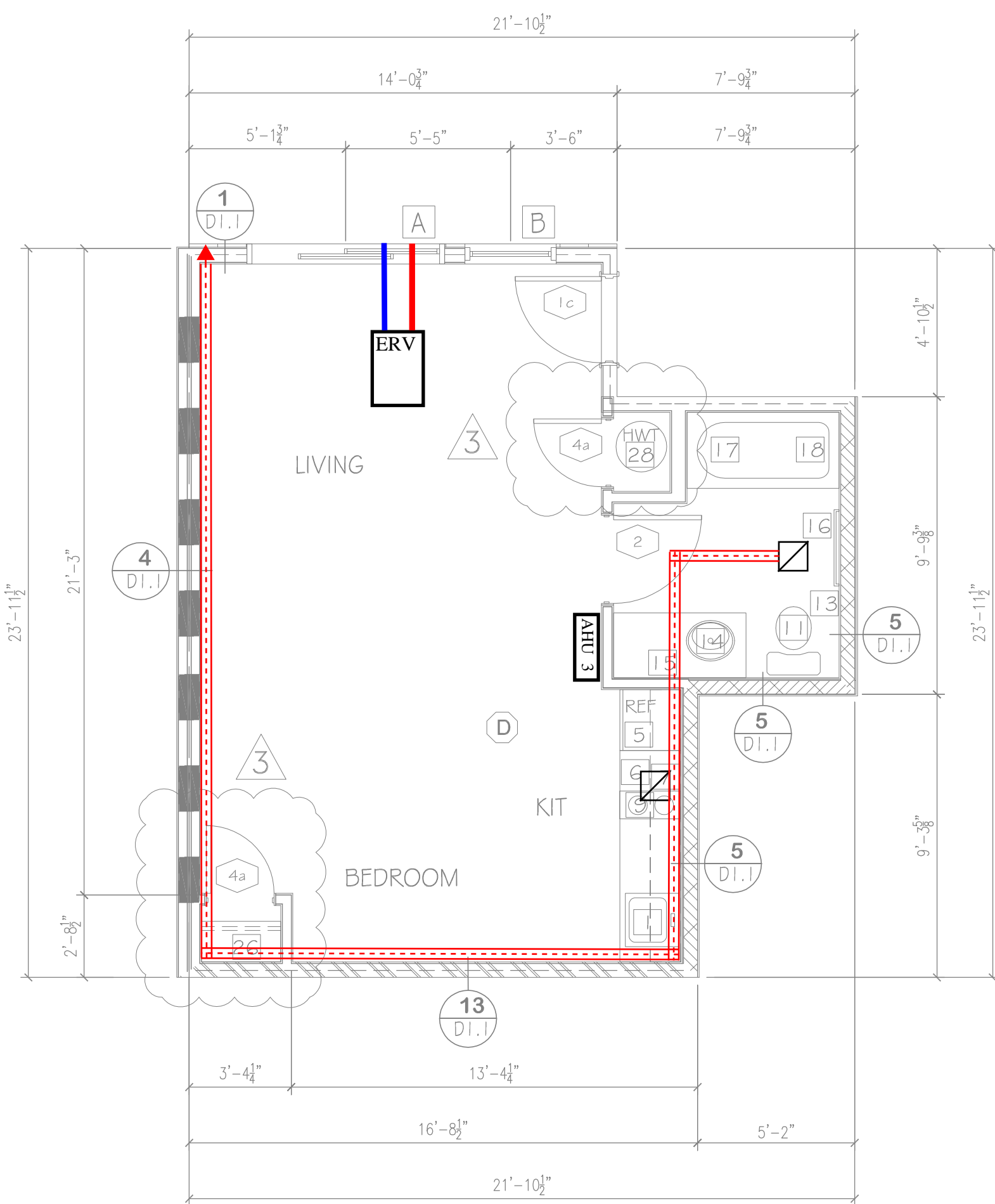
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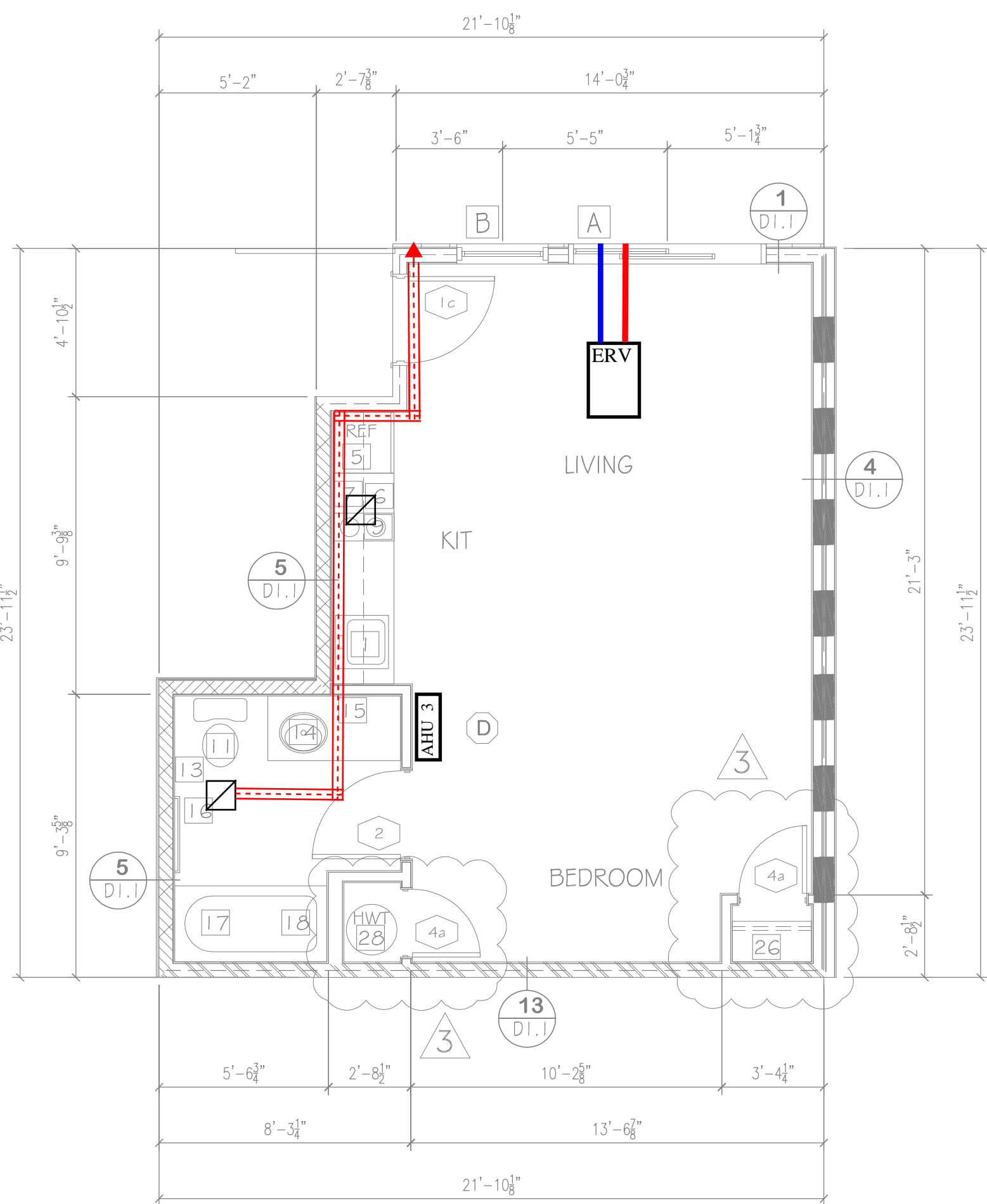
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SHEET

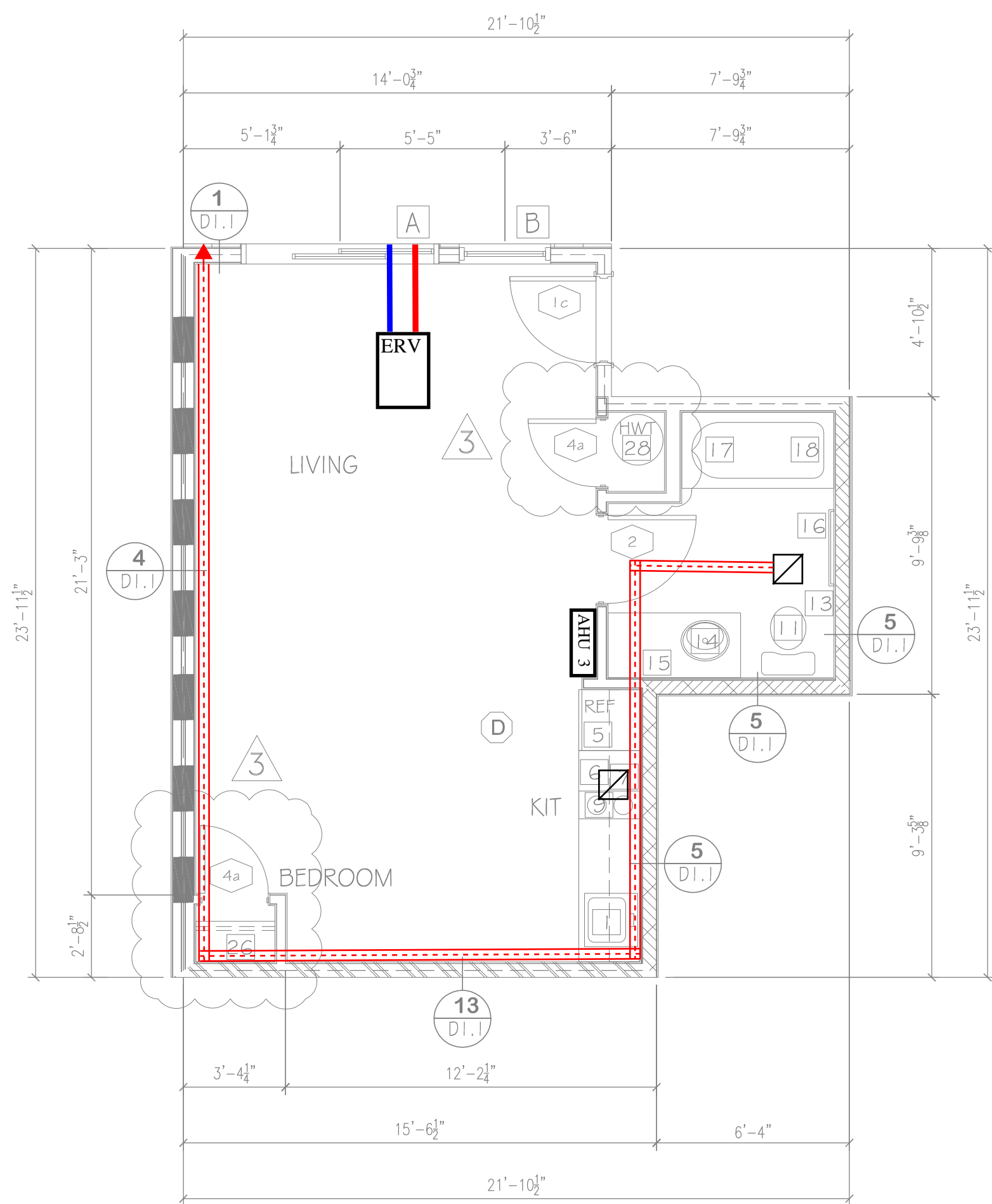
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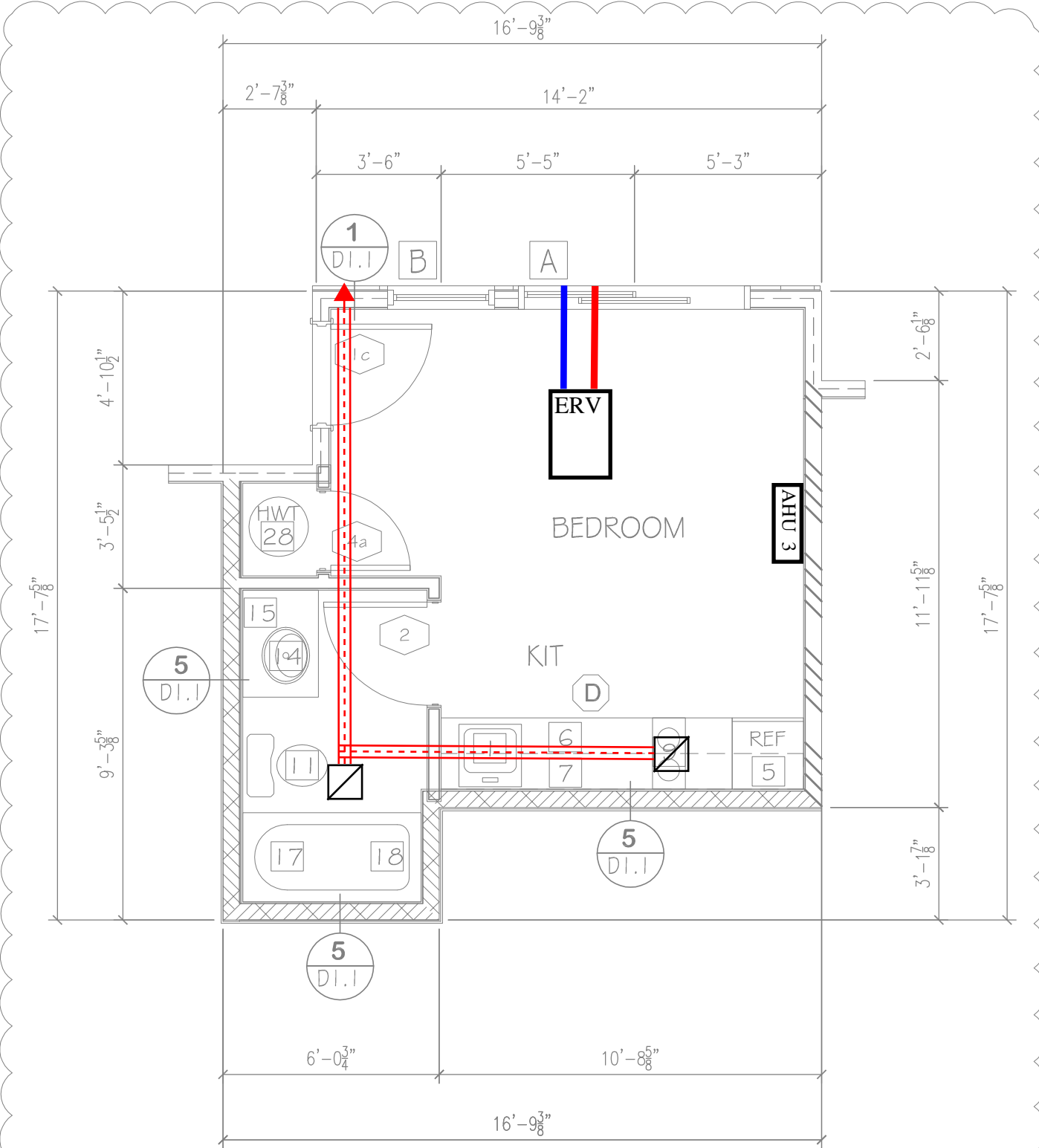
UNIT "B&B-4"
(SLEEPING UNIT)
433 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 104



UNIT "B&B-3"
(SLEEPING UNIT)
432 SQ/FT
2 UNIT
DECK - 56 SQ/FT
UNITS # 103 & 105



UNIT "B&B-2"
(SLEEPING UNIT)
421 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 102



UNIT "B&B-1"
(SLEEPING UNIT)
242 SQ/FT
1 UNIT
DECK - 52 SQ/FT
UNIT # 101

SLEEPING UNITS EXEMPT FROM COMPLYING IBC CHAPTER 11 AND WITH A117.1-2009 ACCESSIBILITY.
ALL DOORS WITHIN THE SLEEPING UNIT ARE REQUIRED TO HAVE A CLEAR WIDTH OF 32"
PROVIDE COUNTER TOP MICROWAVE FOR SLEEPING UNITS

- SHEET NOTES**
- SELF-DRIVING STAINLESS STEEL SINK SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 57" AFF IN TYPE "A" UNITS
 - BUILT-IN DISHWASHER, ENERGY STAR
 - 30" ELECTRIC RANGE WITH MICROWAVE/hood FAN ABOVE
 - 30" ELECTRIC RANGE WITH HOOD FAN ABOVE
 - REFRIGERATOR SPACE
 - PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPASH AND BULLNOSE FRONT EDGE. CABINETS BELOW
 - LINE OF CABINETS ABOVE
 - PONY WALL
 - COOKTOP
 - 30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW
 - 1.28 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE
 - MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS
 - GRAB BARS FOR WATER CLOSET
 - SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN. 15" AFF & TOP MAX 33" AFF
 - LAVATORY, SINGLE LEVER 1.5 GPM FAUCET AND CABINET
 - SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY
 - 30" TOWEL BAR, PROVIDE SOLID BACKING IN WALL MOUNT CENTER OF BAR MAX. 4'-6" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF
 - FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND. TOP OF SURROUND MINIMUM 72" ABOVE FLOOR. PROVIDE CURTAIN ROD
 - SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND
 - FURR WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS
 - 5" SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD
 - ADA 5" ROLL-IN SHOWER WITH SEAT
 - SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60' LONG, THAT CAN BE USED AS A FIXED SHOWER HEAD OR AS A HAND HELD SHOWER
 - GRAB BARS FOR ROLL-IN SHOWER
 - WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR
 - COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR
 - 1 - 12" WIRE SHELF & POLE
 - 5 - 12" WIRE SHELVES
 - HOTWATER TANK
 - REMOVABLE CABINETS AT KITCHEN SINKS & LAVATORIES WITH TOE & KNEE CLEARANCE 27" MIN ABOVE THE FLOOR TO A MIN. DEPTH OF 8" WITH TOE CLEARANCE OF 9" HIGH

NOTE: ALL DOORS TO BE 3'-0" X 6'-0"
UNIT ENTRY DOORS TO BE 20 MIN RATED
AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK
ALL HARDWARE TO HAVE LEVER LOCKSETS
PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1
A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT
ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2
NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR
NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.
PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET
ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS
ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICGA/ANSI A117.1-2009
OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST
OUTLET TO THE FINISH FLOOR.
COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO
HIGHEST OUTLET.
SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.
KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL
SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.
NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ ACCESSIBLE CONTROLS
WINDOWS W/ 20 "U" FACTOR & .40 SHGC

LEGEND	
VERIFY WALL TYPES AS PER RA 1.1 SHEET	WINDOW INDICATOR
STANDARD WALL (SEE SHT RA 1.1 #3)	DOOR INDICATOR
CORRIDOR WALL (SEE SHT RA 1.1 #4)	SCAFFOLD FOR DUCTS
UNIT PARTITION WALL (SEE SHT RA 1.1 #5)	DETAIL INDICATOR (SEE D1, D2, D3)
EXTERIOR WALL (SEE SHT RA 1.1 #1)	INTERIOR ELEVATIONS (SEE SHT AG. 1)
2 HR WALL - GENERIC (SEE SHT RA 1.1 #6)	SMOKE/CARBON MONOXIDE DETECTOR
2 HR WALL - STIC-50 (SEE SHT RA 1.2 #2)	
2 HR EXTERIOR WALL (SEE SHT RA 1.2 #3)	

STUDIO "B&B-1", "B&B-2", "B&B-3" & "B&B-4" TYPICAL UNIT

SCALE 1/4" = 1'-0"

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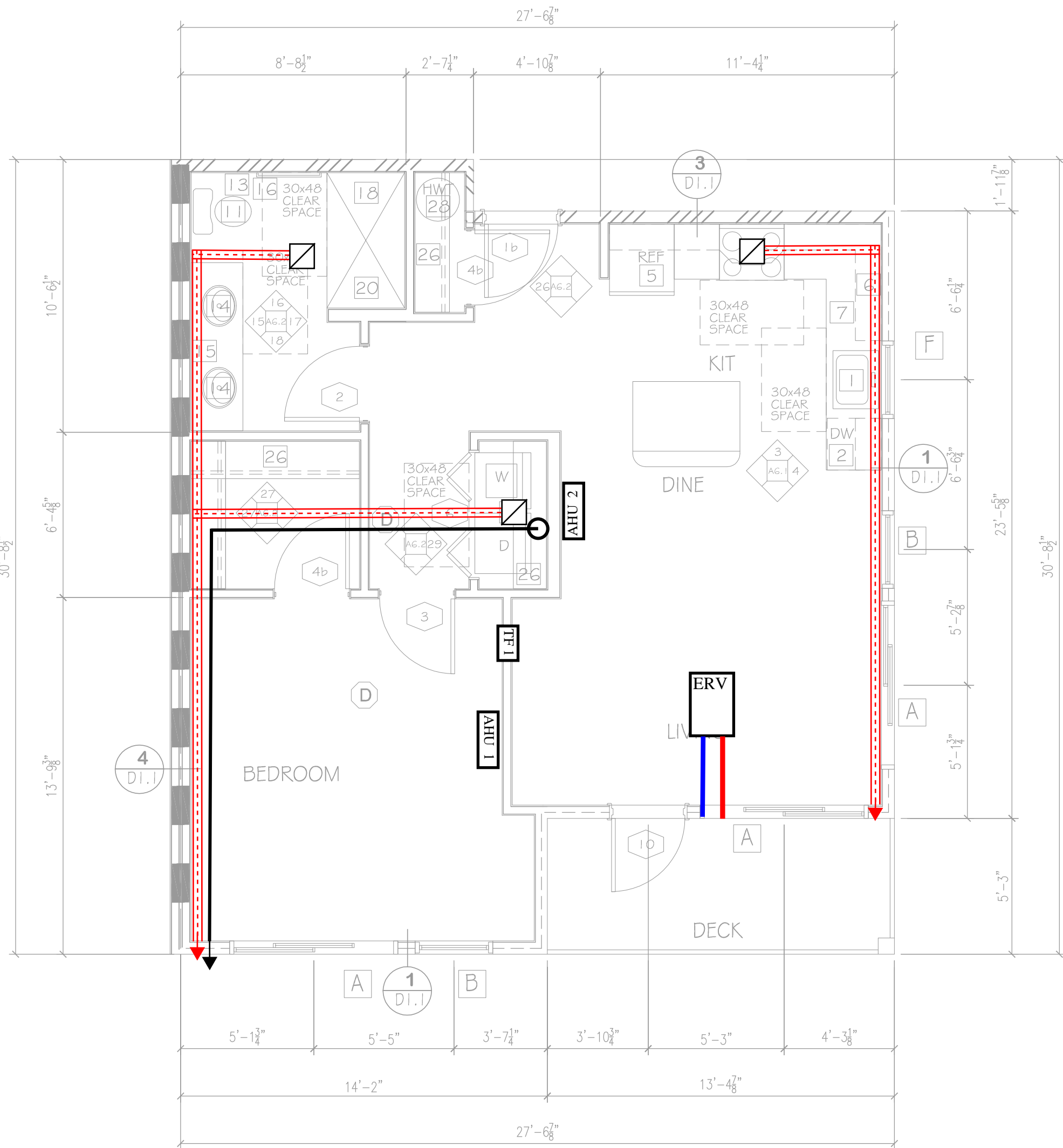
PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC
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SHEET
M 6.0



I BEDROOM "B"
(TYPE "B" UNIT)
744 SQ/FT
1 UNIT
DECK - 70 SQ/FT
UNIT # 301

(TYPE "B" UNIT OPTION B BATHROOM PER ICC A117.1 - 2009)

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL
PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET AG.1 INTERIOR ELEVATIONS FOR LOCATION
OF GRAB BARS AND BACKING. ALSO NOTE LOCATION
OF WATER CLOSETS AND TUB CONTROLS.

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET AG.1.
ALL TOILETS SHALL BE CENTERED EXACTLY 16 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT WALL MOUNTED CONTROLS.
ENSURE THAT CONTROLS ARE NOT LOWER THAN 15" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE.

AIR INLETS, WINDOW TRICKLE VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR. MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSEC
403.6.6.1

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR
HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 48" AFF.

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE
OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS
UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 25 1/2" THE
ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF
COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON APPLIANCE.

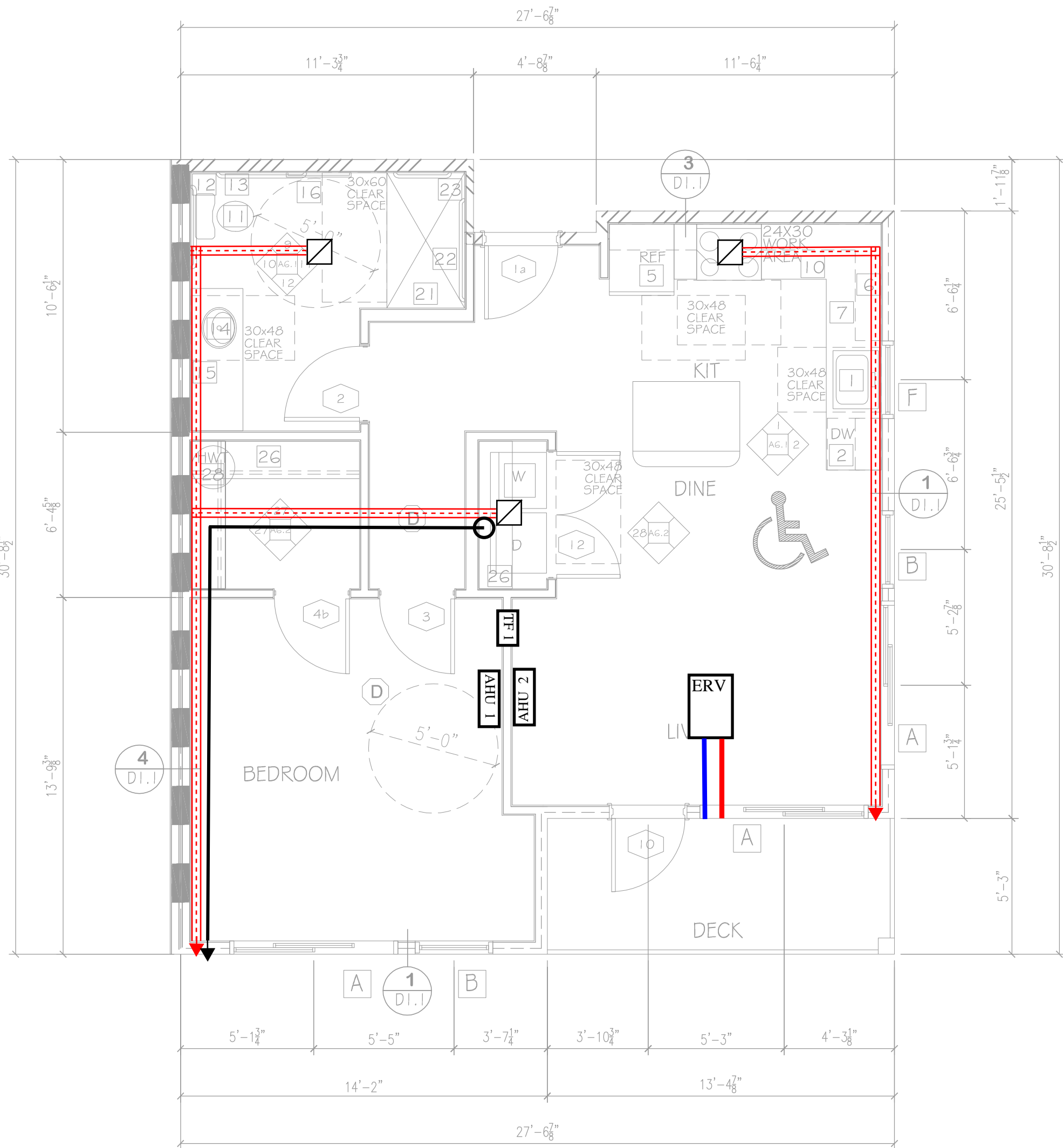
OPERABLE PARTS INCLUDING DOORS, UNIT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 15" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.



I BEDROOM "A"
(TYPE "A" UNIT)
740 SQ/FT
1 UNIT
DECK - 70 SQ/FT
UNIT # 201

SHEET NOTES

- SELF-RIMMING STAINLESS STEEL SINKS, SINGLE LEVER
FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS
- BUILT-IN DISHWASHER, ENERGY STAR
- 30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE
- 30" ELECTRIC RANGE WITH HOOD FAN ABOVE
- REFRIGERATOR SPACE
- PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPASH
AND BULLNOSE FRONT EDGE; CABINETS BELOW
LINE OF CABINETS ABOVE
- PONY WALL
- COOKTOP
- 30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW
- 1.28 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE
MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS
- GRAB BARS FOR WATER CLOSET
- SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF
- LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET
- SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY
- 30" TOWEL BAR; PROVIDE SOLID BACKING IN WALL; MOUNT CENTER OF BAR
MAX. 4'-6" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF
FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND. TOP OF SURROUND
MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD
- SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND
- FURK WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS
- 5" SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD
- ADA 5' ROLL-IN SHOWER WITH SEAT
- SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED
AS A FIXED SHOWER HEAD OR AS A HAND HELD SHOWER
- GRAB BARS FOR ROLL-IN SHOWER
- WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR
- COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR
- 1 - 12" WIRE SHELF & POLE
- 5 - 12" WIRE SHELVES
- HOTWATER TANK
- REMOVABLE CABINETS AT KITCHEN SINKS & LAVATORIES WITH TOE & KNEE CLEARANCE
27" MIN ABOVE THE FLOOR TO A MIN. DEPTH OF 6" WITH TOE CLEARANCE OF 9" HIGH

NOTE: ALL DOORS TO BE 3'-0" X 6'-8"
UNIT ENTRY DOORS TO BE 20 MIN RATED
AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK
ALL HARDWARE TO HAVE LEVER LOCKSETS

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1
A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT
ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR

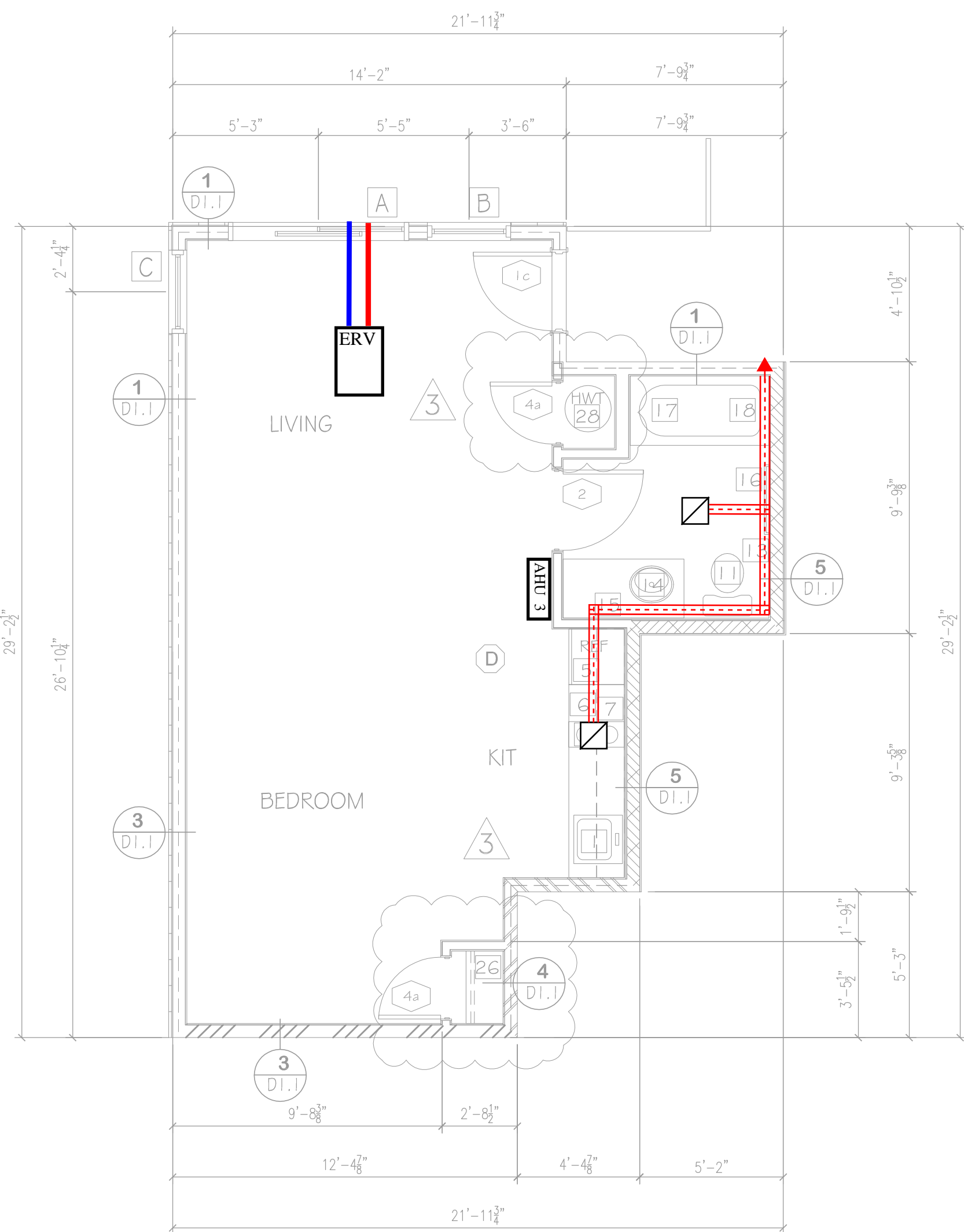
NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.
PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS
ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009

OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST
OUTLET TO THE FINISH FLOOR.
COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO
HIGHEST OUTLET
SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.
KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL
SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ ACCESSIBLE CONTROLS
WINDOWS W/ 20 "L" FACTOR & .40 SHGC

VERIFY WALL TYPES AS PER BAY, 1 SHEET	LEGEND
STANDARD WALL (H/SCS SHT RA.1.1 #3)	WINDOW INDICATOR
CORRIDOR WALL (SEE SHT RA.1.1 #4)	DOOR INDICATOR
UNIT PARTITION WALL (SEE SHT RA.1.1 #5)	DUCTS FOR DUCTS
INTERIOR WALL (SEE SHT RA.1.1 #1)	DETAIL INDICATOR (SEE D1.1 SHTS)
2 HR WALL - GENERIC (SEE SHT RA.1.1 #6)	INTERIOR ELEVATIONS (SEE SHT AG.1)
2 HR WALL - (STC 50) (SEE SHT RA.1.2 #20)	SMOKE/CARBON MONOXIDE DETECTOR
2 HR EXTERIOR WALL (SEE SHT RA.1.2 #19)	



UNIT "B&B-5"
(SLEEPING UNIT)

498 SQ/FT
1 UNIT
DECK - 56 SQ/FT
UNIT # 106

SLEEPING UNITS EXEMPT FROM COMPLYING IBC CHAPTER 11 AND WITH A117.1-2009 ACCESSIBILITY.
ALL DOORS WITHIN THE SLEEPING UNIT ARE REQUIRED TO HAVE A CLEAR WIDTH OF 32"

PROVIDE COUNTER TOP MICROWAVE FOR SLEEPING UNITS

STUDIO "B&B-5" AND 1 BR "A" & "B" TYPICAL UNIT

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL
30 MAY 24 REVISION CITY COMMENTS
26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT
THE TALMON
LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC



7301 BEVERLY LANE
EVERETT, WA 98203

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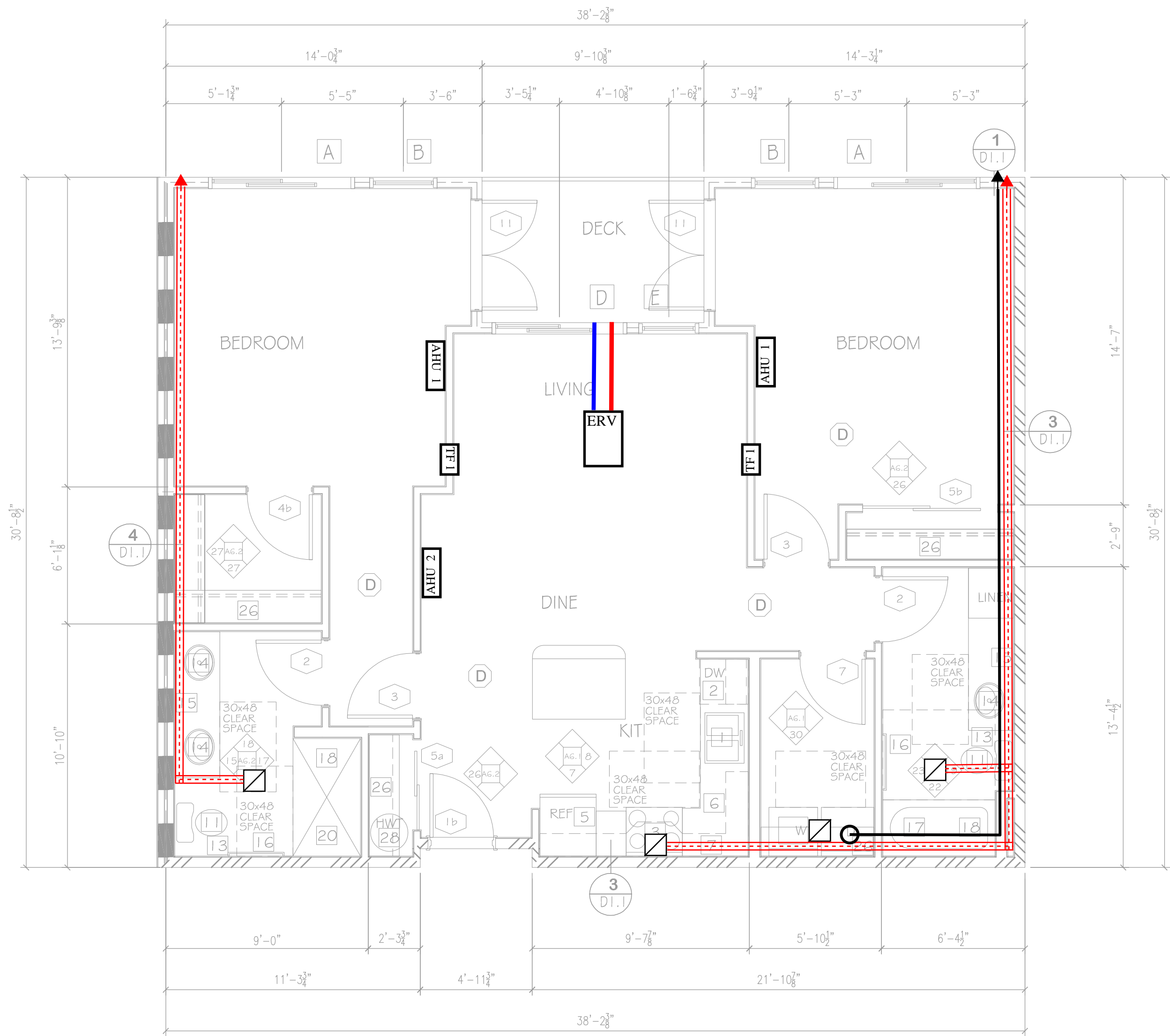
Design by:
Right Way
Plumbing & Heating

Contact:
Logan Clark
(360) 855-2665

DATE	4 OCT 23
REVISION	7 MAR 24
REVISION	30 MAY 24
REVISION	26 NOV 24

SHEET

M 6.0



2 BEDROOM "B1"

(TYPE "B" UNIT)

1,105 SQ/FT 9,945 SQ/FT

9 UNIT

DECK - 64 SQ/FT

UNITS # 202,203,204 & 206

302,303,304,306 & 307

(TYPE "B" UNIT OPTION A BATHROOM PER ICC A117.1 - 2009)

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET AG-1 INTERIOR ELEVATIONS FOR LOCATION OF GRAB BARS AND BACKING. ALSO NOTE LOCATION OF WATER CLOSETS AND TUB CONTROLS.

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET AG-1. ALL TOILETS SHALL BE CENTERED EXACTLY 16 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT WALL MOUNTED CONTROLS. ENSURE THAT CONTROLS ARE NOT LOWER THAN 15" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE.

AIR INLETS, WINDOW TRICKLE VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR, MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSEC 403.B.6.1.

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 46" AFF.

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY AFFLUENCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICCANSI A117.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 25 1/2" THE ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY AFFLUENCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICCANSI A117.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON AFFLUENCE.

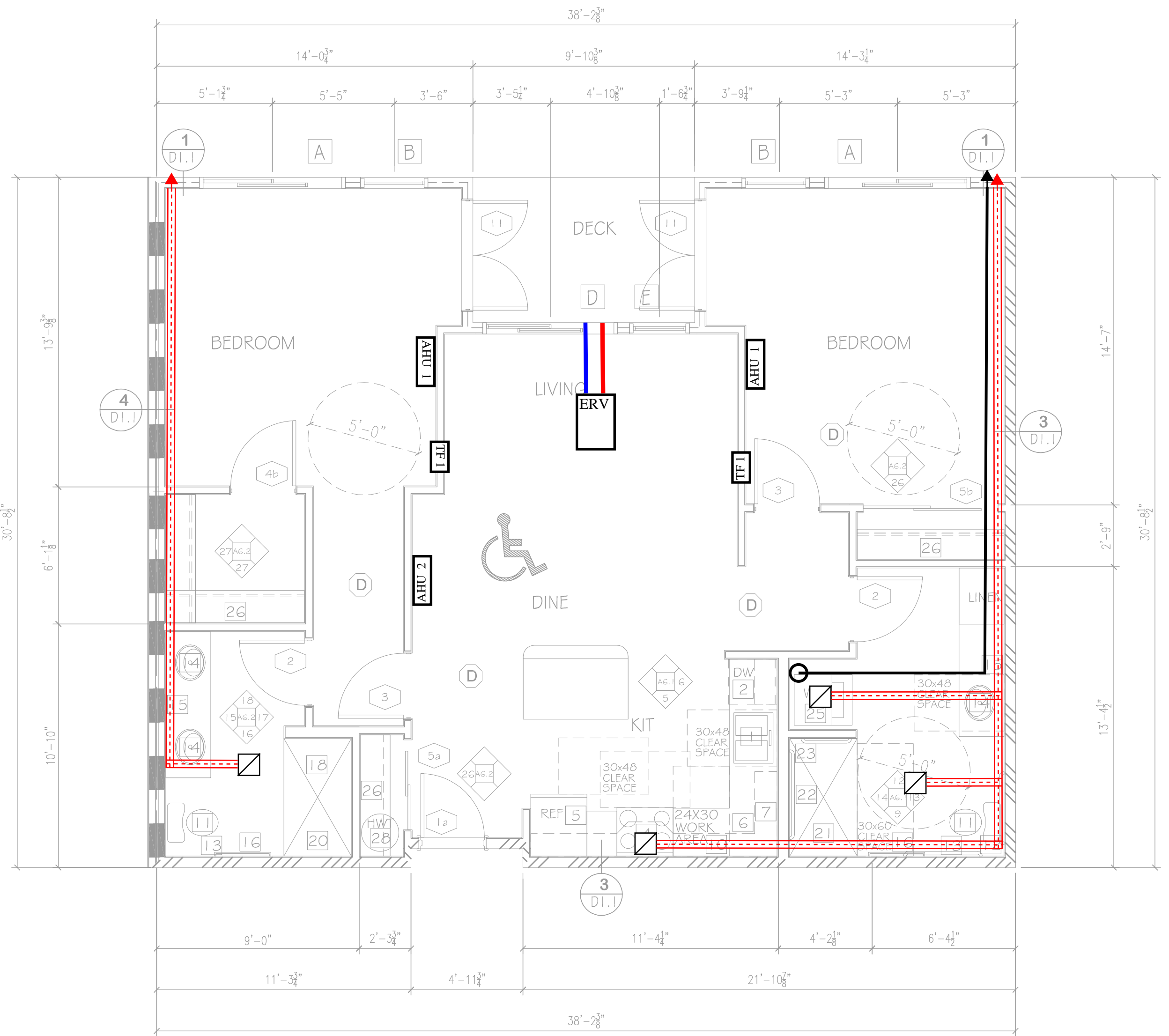
OPERABLE PARTS INCLUDING DOORS, LINT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 15" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.



2 BEDROOM "A"

(TYPE "A" UNIT)

1,105 SQ/FT

1 UNIT

DECK - 64 SQ/FT

UNIT # 207

SHEET NOTES

- SELF-RIMMING STAINLESS STEEL SINK, SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS
- BUILT-IN DISHWASHER, ENERGY STAR
- 30" ELECTRIC RANGE WITH MICROWAVE/HOOD FAN ABOVE
- 30" ELECTRIC RANGE WITH HOOD FAN ABOVE
- REFRIGERATOR SPACE
- PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPASH AND BULLNOSE FRONT EDGE, CABINETS BELOW
- LINE OF CABINETS ABOVE
- PONY WALL
- COOKTOP
- 30X24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW
- 1.28 GAL. MAXIMUM FLUSH WATER CLOSET: ROUND BOWL; PROVIDE IN SPACE
- MINIMUM 36" WIDE IN ACCESSIBLE UNITS, MINIMUM 33" WIDE IN TYPE "B" UNITS
- GRAB BARS FOR WATER CLOSET
- SURFACE MOUNTED TOILET PAPER DISPENSER, MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF
- LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET
- SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY
- 30" TOWEL BAR; PROVIDE SOLID BACKING IN WALL; MOUNT CENTER OF BAR MAX 4'-2" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF
- FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND; TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD
- SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND
- FURR WALL TO TUB ENCLOSURE, VERIFY DIMENSIONS
- 5" SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD
- ADA 5' ROLL-IN SHOWER WITH SEAT
- SHOWER SPRAY UNIT 1.75 GPM WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FIXED SHOWER HEAD OR AS A HAND HELD SHOWER
- GRAB BARS FOR ROLL-IN SHOWER
- WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR
- COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR
- 1 - 12" WIRE SHELF & POLE
- 5 - 12" WIRE SHELVES
- HOTWATER TANK
- REMOVABLE CABINETS AT KITCHEN SINKS & LAVATORIES WITH TOE & KNEE CLEARANCE 27" MIN ABOVE THE FLOOR TO A MIN. DEPTH OF 8" WITH TOE CLEARANCE OF 9" HIGH

NOTE: ALL DOORS TO BE 3'-0" X 6'-8" UNIT ENTRY DOORS TO BE 20 MIN RATED AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK. ALL HARDWARE TO HAVE LEVER LOCKSETS

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1005.5.1 A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR

NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END. PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICCANSI A117.1-2009

OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST OUTLET TO THE FINISH FLOOR. COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO HIGHEST OUTLET. SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS. KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN L-SHAPE AND U-SHAPE KITCHENS.

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ ACCESSIBLE CONTROLS WINDOWS W/ 20" LU" FACTOR & .40 SHGC

LEGEND	
VERIFY WALL TYPES AS PER RAI-1 SHEET	
STANDARD WALL (THREE SHT RAI-1 #3)	WINDOW INDICATOR
CORRIDOR WALL (SEE SHT RAI-1 #4)	DOOR INDICATOR
UNIT PARTITION WALL (SEE SHT RAI-1 #5)	SOFFITS FOR DUCTS
EXTERIOR WALL (SEE SHT RAI-1 #1)	DETAIL INDICATOR (SEE SHT SHTS)
2 HR WALL - GENERIC (SEE SHT RAI-1 #2)	INTERIOR ELEVATIONS (SEE SHT AG-1)
2 HR WALL - EITC (SEE SHT RAI-2 #20)	SMOKEGAS/CO/NO MONITOR DETECTOR
2 HR EXTERIOR WALL (SEE SHT RAI-2 #19)	

2 BR "A" & "B1" TYPICAL UNIT

SCALE 1/4" = 1'-0"

4 OCT 23 PERMIT SUBMITTAL
7 MAR 24 PERMIT RESUBMITTAL
30 MAY 24 REVISION CITY COMMENTS
26 NOV 24 REVISION PER SKAGIT COUNTY REVIEW COMMENTS



PROJECT
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LOCATION
CENTER STREET, LA CONNER, WA
DEVELOPER
KSA INVESTMENTS, LLC

CHARLES MORGAN & ASSOCIATES, LLC



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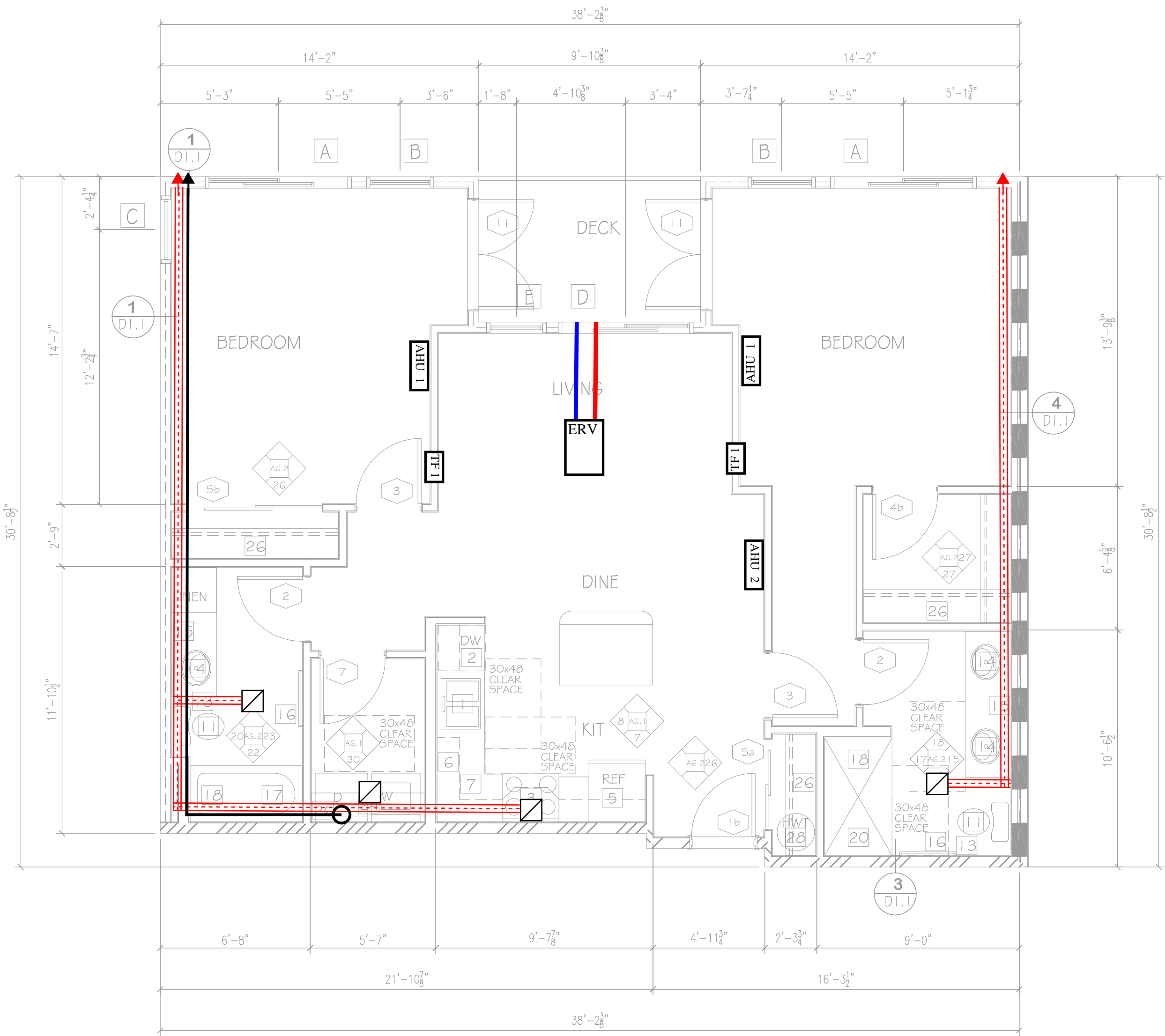
Design by:
Right Way
Plumbing & Heating

Contact:
Logan Clark
(360) 855-2665

DATE	4 OCT 23
REVISION	7 MAR 24
REVISION	30 MAY 24
REVISION	26 NOV 24

SHEET

M 7.0



2 BEDROOM "B2"
(TYPE "B" UNIT)
1,071 SQ/FT 2,142 SQ/FT
2 UNIT
DECK - 64 SQ/FT
UNITS # 205 & 305

SHEET NOTES (TYPE "B" UNIT OPTION B BATHROOM PER ICC A117.1 - 2009)

- 1 SELF-RIMMING STAINLESS STEEL SINK, SINGLE LEVER FAUCET. ENSURE KNEE CLEARANCE AT 27" AFF IN TYPE "A" UNITS
- 2 BUILT-IN DISHWASHER, ENERGY STAR
- 3 30" ELECTRIC RANGE WITH MICROWAVE/hood FAN ABOVE
- 4 30" ELECTRIC RANGE WITH HOOD FAN ABOVE
- 5 REFRIGERATOR SPACE
- 6 PLASTIC LAMINATE COUNTERTOP WITH 4" WATERFALL BACKSPLASH AND BULLNOSE FRONT EDGE; CABINETS BELOW LINE OF CABINETS ABOVE
- 7 PONY WALL
- 8 COOKTOP
- 9 30x24 WORK AREA @ MAX 34" HEIGHT - OPEN BELOW
- 10 1.28 GAL. MAXIMUM FLUSH WATER CLOSET; ROUND BOWL; PROVIDE IN SPACE
- 11 MINIMUM 36" WIDE IN ACCESSIBLE UNITS; MINIMUM 33" WIDE IN TYPE "B" UNITS
- 12 GRAB BARS FOR WATER CLOSET
- 13 SURFACE MOUNTED TOILET PAPER DISPENSER; MOUNT BOTTOM MIN 15" AFF & TOP MAX 33" AFF
- 14 LAVATORY; SINGLE LEVER 1.5 GPM FAUCET AND CABINET
- 15 SURFACE MOUNTED MIRROR WITH J-CLIPS TO MATCH VANITY
- 16 30" TOWEL BAR; PROVIDE SOLID BACKING IN WALL; MOUNT CENTER OF BAR MAX 4'-0" AFF. IN ALL UNITS MOUNT A PORTION OF TOWEL BARS @ 48" AFF
- 17 FIBERGLASS TUB WITH PLASTIC LAMINATE SURROUND; TOP OF SURROUND MINIMUM 72" ABOVE FLOOR; PROVIDE CURTAIN ROD
- 18 SHOWER HEAD 1.75 GPM; MOUNT 4" ABOVE TOP OF SURROUND
- 19 FURF WALL TO TUB ENCLOSURE; VERIFY DIMENSIONS
- 20 5" SHOWER (INSIDE CLEAR 36" X 60" MIN.); PROVIDE CURTAIN ROD
- 21 ADA 5" ROLL-IN SHOWER WITH SEAT
- 22 SHOWER SPRAY UNIT 1.75 GPM, WITH A HOSE AT LEAST 60" LONG, THAT CAN BE USED AS A FIXED SHOWER HEAD OR AS A HAND HELD SHOWER
- 23 GRAB BARS FOR ROLL-IN SHOWER
- 24 WASHER & DRYER W/ VENT TO THE EXTERIOR (80 CFM), ENERGY STAR
- 25 COMBINATION WASHER/DRYER W/ VENT TO EXTERIOR (80 CFM), ENERGY STAR
- 26 1 - 12" WIRE SHELF & POLE
- 27 5 - 12" WIRE SHELVES
- 28 HOTWATER TANK
- 29 REMOVABLE CABINETS AT KITCHEN SINKS & LAVATORIES WITH TOE & KNEE CLEARANCE 27" MIN ABOVE THE FLOOR TO A MIN. DEPTH OF 8" WITH TOE CLEARANCE OF 9" HIGH

NOTE: ALL DOORS TO BE 3'-0" X 6'-0"
UNIT ENTRY DOORS TO BE 20 MIN RATED
AND BE EQUIPPED WITH VIEWER & DEAD BOLT LOCK
ALL HARDWARE TO HAVE LEVER LOCKSETS

PUBLIC SITE OF THE UNIT PRIMARY ENTRANCE PER ANSI SECTION 1.005.5.1
A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT
ENTRY DOOR SHALL BE PROVIDED PER ANSI SECTION 1.005.5.2

NOTE: ALL BATHS & KITCHENS TO BE MECHANICALLY VENTED TO EXTERIOR

NOTE: PROVIDE REMOVABLE CABINET IN ALL TYPE "A" BATHROOM AND SUPPORT AT OPEN END.
PROVIDE FINISH FLOOR UNDER REMOVABLE CABINET

ALL UNITS NOT DESIGNATED AS TYPE "A" SHALL BE TYPE "B" UNITS
ALL TYPE "A" UNITS SHALL MEET THE REQUIREMENTS OF ICC/ANSI A117.1-2009

OUTLETS TO BE NO LOWER THAN 15" HIGH MEASURED FROM CENTERLINE OF LOWEST
OUTLET TO THE FINISH FLOOR.
COUNTER TOP OUTLETS TO BE MAXIMUM 44" HIGH MEASURED FROM FINISHED FLOOR TO
HIGHEST OUTLET.
SWITCHES AND THERMOSTATS MAXIMUM 48" TO THE HIGHEST CONTROLS.
KITCHEN CORNER OUTLETS MUST BE A MINIMUM 36" FROM INSIDE CORNER OF WALL
SURFACE IN L-SHAPE AND U-SHAPE KITCHENS

NOTE: ALL WINDOWS TO BE DOUBLE GLAZED VINYL FRAME W/ ACCESSIBLE CONTROLS
WINDOWS W/ 28 "U" FACTOR & .40 SHGC

LEGEND	
	STANDARD WALL (SEE SHT RA-1, #3)
	CORRIDOR WALL (SEE SHT RA-1, #4)
	UNIT PARTITION WALL (SEE SHT RA-1, #5)
	EXTERIOR WALL (SEE SHT RA-1, #1)
	2 HR WALL - GENERIC (SEE SHT RA-1, #6)
	2 HR WALL - DTC 500 (SEE SHT RA-1, #20)
	2 HR EXTERIOR WALL (SEE SHT RA-1, #19)
	WINDOW INDICATOR
	DOOR INDICATOR
	SOFFITS FOR DUCTS
	DETAIL INDICATOR (SEE D-1, SHTS)
	INTERIOR ELEVATIONS (SEE SHT AG-1)
	SMOKE/CARBON MONOXIDE DETECTOR

ARCHITECT TO REVIEW BATHING FIXTURE SUBMITTAL
PRIOR TO FRAMING TO CONFIRM ADA COMPLIANCE.

SEE SHEET AG-1 INTERIOR ELEVATIONS FOR LOCATION
OF GRAB BARS AND BACKING. ALSO NOTE LOCATION
OF WATER CLOSETS AND TUB CONTROLS

PROVIDE BACKING FOR GRAB BARS IN ALL BATHROOM UNITS AS SHOWN ON SHEET AG-1.
ALL TOILETS SHALL BE CENTERED EXACTLY 18 INCHES FROM FACE OF FINISHED SIDE WALL.

PROVIDE ACCESSIBLE CONTROLS FOR POWER AND SPEED AT WALL MOUNTED CONTROLS.
ENSURE THAT CONTROLS ARE NOT LOWER THAN 15" AND AT TYPE "A" UNITS THAT THE CONTROLS DO NOT REQUIRE TWISTING OR GRIPPING. OPERABLE

AIR INLETS, WINDOW TRICKLE VENTS, FRESH AIR OPENINGS FOR OUTDOOR AIR, MUST BE ACCESSIBLE WITH ACCESSIBLE CONTROLS WITHIN REACH RANGE ON TYPE "A" AND TYPE "B" UNITS. PER WSEC
403.B.6.1

FOR TYPE "A" UNITS ALL CONTROLS MUST BE ACCESSIBLE (LEVER STYLE OR SIMILAR) WHICH INCLUDES OPERABLE WINDOWS, SINK AND LAVATORY FAUCETS, KITCHEN CABINET DOOR HARDWARE, AND DOOR
HARDWARE.

FOR TYPE "A" UNITS AND A PORTION OF ALL STORAGE CLOSETS MUST BE ACCESSIBLE. ENSURE THAT A PORTION OF A CLOSET POLE IS MOUNTED NO GREATER THAN 46 INCHES AFF.

FOR TYPE "A" UNIT PROVIDE A SINK WITH A DRAIN AT THE BACK OF THE BOWL SO THAT DRAIN PIPES AND DISPOSAL UNITS ARE OUT OF THE KNEE CLEARANCE SPACE.

PROVIDE COUNTER TOP MICROWAVE FOR TYPE "A" UNITS

FOR ALL UNITS PROVIDE A PORTION OF TOWEL BARS MOUNT AT 48" AFF.

FOR TYPE "A" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 24" THE ACCESSIBLE
OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF COUNTERTOP THAT IS
UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "B" UNITS THE KITCHEN CORNER OUTLETS MINIMUM 36" FROM INSIDE CORNER OF WALL SURFACE IN "L" AND "U" SHAPED KITCHENS. WHERE RANGE PROJECTS MORE THAN 25 1/2" THE
ACCESSIBLE OUTLET IN THE CORNER IS CALCULATED BY APPLIANCE DEPTH DIMENSION PLUS 12". WHERE TWO OR MORE RECEPTACLE OUTLETS ARE PROVIDED IN A KITCHEN ABOVE A LENGTH OF
COUNTERTOP THAT IS UNINTERRUPTED BY A SINK OR APPLIANCE, ONE RECEPTACLE OUTLET SHALL NOT BE REQUIRED TO COMPLY WITH ICC/ANSI A117.1-2009 SECTION 309.

FOR TYPE "A" UNIT PROVIDE COMBINATION WASHER/DRYER. PROVIDE FOR PARALLEL APPROACH. CLEAR FLOOR SPACE SHALL BE CENTERED ON APPLIANCE.

OPERABLE PARTS INCLUDING DOORS, LINT SCREEN, DETERGENT AND BLEACH COMPARTMENTS SHALL BE NO LOWER THAN 15" ABOVE F.F. AND NOT MORE THAN 46" ABOVE F.F.

TYPE "A" KITCHEN COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).
TYPE "B" KITCHEN COUNTERTOP 25 1/2" MAX. DEPTH, 36" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).
TYPE "A" & "B" BATHROOM COUNTERTOP 24" MAX. DEPTH, 34" MAX. HEIGHT (TOP OF SINK OR COUNTER WHICHEVER IS HIGHEST).

FOR TYPE "B" UNITS A STACKABLE WASHER/DRYER COMBINATION CAN BE PROVIDED.

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30 MAY 24 REVISION CITY COMMENTS
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CENTER STREET, LA CONNER, WA
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2 BR "B2"
TYPICAL UNIT

SCALE 1/4" = 1'-0"

SHEET

M 8.0